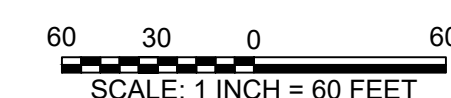


POST OFFICE BOX 91727
RALEIGH, NORTH CAROLINA 27675
PHONE: 919.610.1051
FIRM NC LICENSE NUMBER C-4222

[illegible]

ORIGINAL PLAN SIZE: 24" X 36"

DO NOT USE FOR CONSTRUCTION



SCALE: 1 INCH = 60 FEET



SCALE ADJUSTMENT

THIS BAR IS 1 INCH IN LENGTH

	0	1*
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IF IT IS NOT 1 INCH ON THIS SHEET, ADJUST YOUR SCALE

HOLDEN ROAD
FRANKLIN COUNTY, NC

HORSEMANS
HOLDINGS, LLC

DATE:	09-29-2021
SCALE:	AS SHOWN
DESIGNED BY:	FLM
APPROVED BY:	
PROJECT NO.:	21093

PRELIMINARY PLAN

C-1

SHEET 1 OF

1. BOUNDARY AND TOPOGRAPHIC SURVEY DATA PROVIDED BY STEWART, INC.
2. ALL NEW ROADS WILL BE BUILT TO TOWN OF YOUNGSHVILLE STANDARDS AND SPECIFICATIONS AND DESIGNATED AS PUBLIC.
3. ALL LOTS SHALL BE SERVED BY FRANKLIN COUNTY PUBLIC WATER AND SEWER.
4. THIS SUBDIVISION WILL COMPLY WITH THE NCDCEQ SOIL AND EROSION ORDINANCE.
5. THIS PLAT IS SUBJECT TO ALL EASEMENTS, AGREEMENTS AND RIGHTS-OF-WAY RECORDED PRIOR TO THE DATE OF THIS PLAT.
6. SOLID WASTE SERVICE SHALL BE PROVIDED BY CURB-SIDE PICKUP.
6. CONSTRUCTION SHALL BE PHASED WITH THE NUMBER OF LOTS PER PHASE BASED ON THE FRANKLIN COUNTY WATER ALLOCATION ORDINANCE (CURRENT ORDINANCE AT TIME OF PHASING) AND THE INFRASTRUCTURE NECESSARY FOR EACH PHASE. CONSTRUCTION IS ANTICIPATED TO OCCUR FROM THE FRONT OF THE DEVELOPMENT (ALONG HOLDEN RD) TO THE REAR OF THE DEVELOPMENT.

DEVELOPMENT NAME: HORSEMANS TRAIL TOWNHOMES

SITE ADDRESS: HOLDEN ROAD, YOUNGSVILLE, NC

PIN NUMBER(S): 1842-78-9763 AND 1842-88-1679

TOTAL AREA: 16.17 AC

EXISTING USE: SINGLE-FAMILY RESIDENTIAL
PROPOSED USE: TOWNHOME SUBDIVISION

JURISDICTION: TOWN OF YOUNGSVILLE
CURRENT ZONING DISTRICT: MU-1

PROPOSED UNITS: 112
MAXIMUM DENSITY: 17 UNITS/ACRE
PROPOSED DENSITY: 6.93 UNITS/ACRE

PARKING CALCULATIONS:
REQUIRED PARKING: 112 3-BEDROOM UNITS X 2
 SPACES/UNIT = 224 SPACES
PROPOSED PARKING: 280 TOTAL PROPOSAL PA
 SPACES
















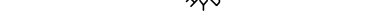

REQUIRED OPEN SPACE: 1.21 AC (7.5%)
PROPOSED OPEN SPACE: 6.69 AC (41.4%); INCLUDES ALL
 COMMON AREAS, BUFFERS, ETC.

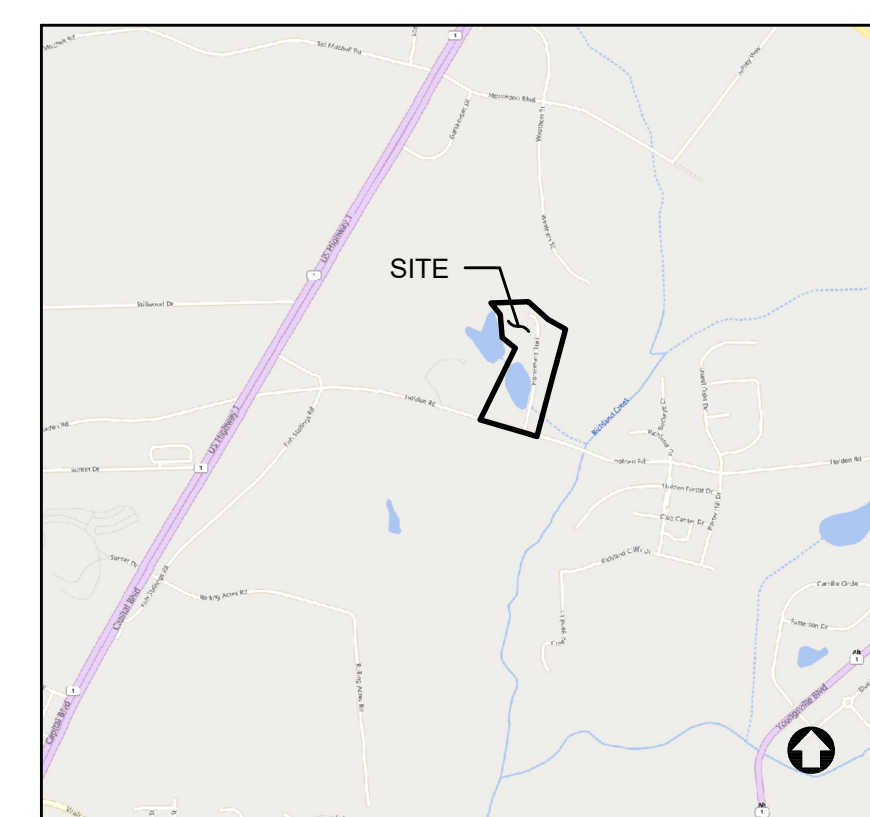
REQUIRED TREE CONSERVATION AREA: 0.97 AC (6%)
PROPOSED TREE CONSERVATION AREA: 1.67 AC (10.4%); TO
 BE PROVIDED WITHIN STREAM BUFFERS

DEVELOPER:
HORESEMANS HOLDINGS, LLC
3011 GRISSOM LAKE RD
RALEIGH, NC 27615

ENGINEER:
FLM ENGINEERING, INC
PO BOX 91727
RALEIGH, NC 27675
919.610.1051

LEGEND

 EX. PROPERTY LINE
 EX. RIGHT-OF-WAY
 EX. ADJACENT OWNERS
 EX. FEMA FLOODPLAIN BOUNDARY
 EX. CHANNEL/STREAM BUFFER
 EX. WETLAND
 EX. MAJOR CONTOUR (5')
 EX. MINOR CONTOUR (1')
 PROP. RIGHT-OF-WAY
 PROP. LOT LINES
 PROP. SETBACK LINE
 PROP. EASEMENT/BUFFER
 PROP. WATER LINE
 PROP. SANITARY SEWER
 PROP. FIRE HYDRANT
 PROP. SEWER MANHOLE
 PROP. STREET TREE



VICINITY MAP
SCALE: 1" = 2,000'

OWNER: AP
RALEIGH LLC
PIN: 1842-89-4310
ZONING: IND

OWNER: MTS
RAL LLC
PIN: 1842-89-9114
ZONING: MU-1

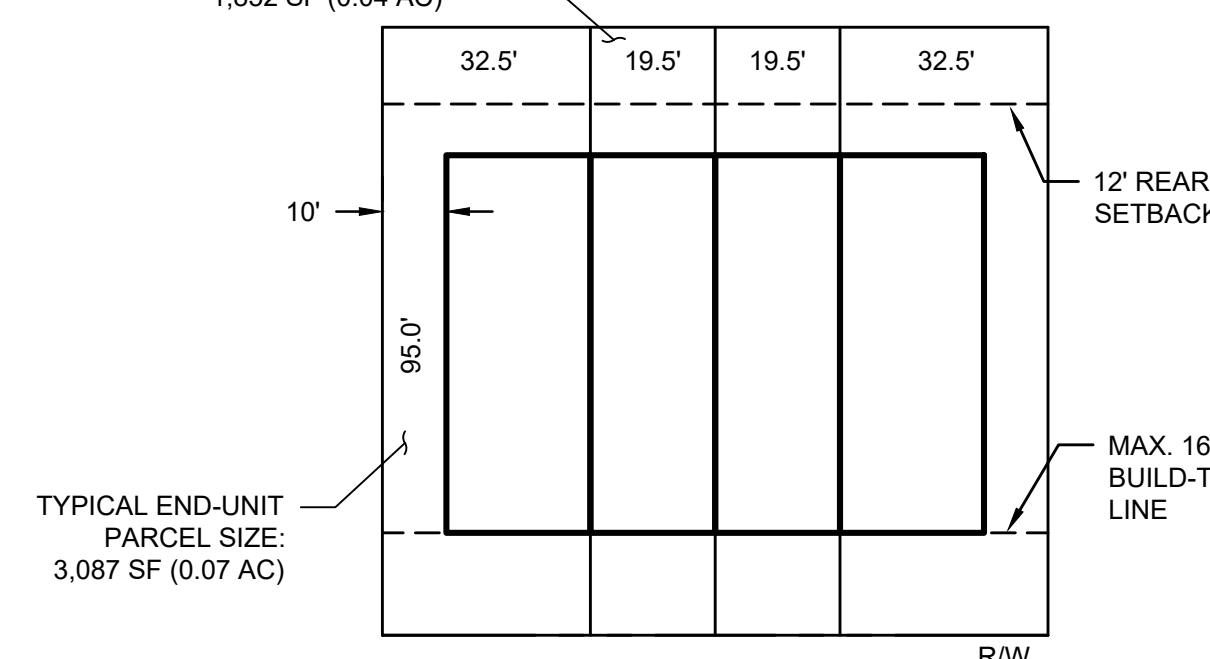
OWNER: MTS
RAL LLC
PIN: 1842-88-6420
ZONING: MU-1

OWNER: KONKLE
INVESTMENT
PROPERTY LLC
PIN: 1842-89-1546
ZONING: IND

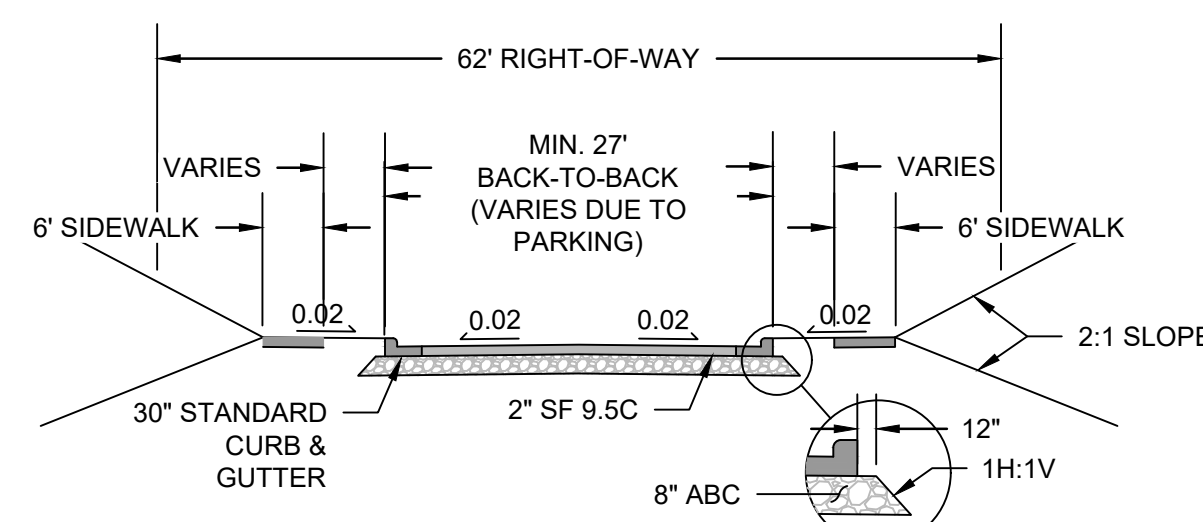
PROP. ACCEPTABLE
ALTERNATIVE TO
120' HAMMERHEAD
TURNAROUND

OWNER:
COOLWICK LLC
PIN: 1842-79-8720
ZONING: IND

TYPICAL INTERIOR-
UNIT PARCEL SIZE:
1.852 SF (0.04 AC)



TYPICAL TOWNHOME BUILDING GROUP
NOT TO SCALE



TYPICAL PUBLIC ROAD CROSS-SECTION
NOT TO SCALE