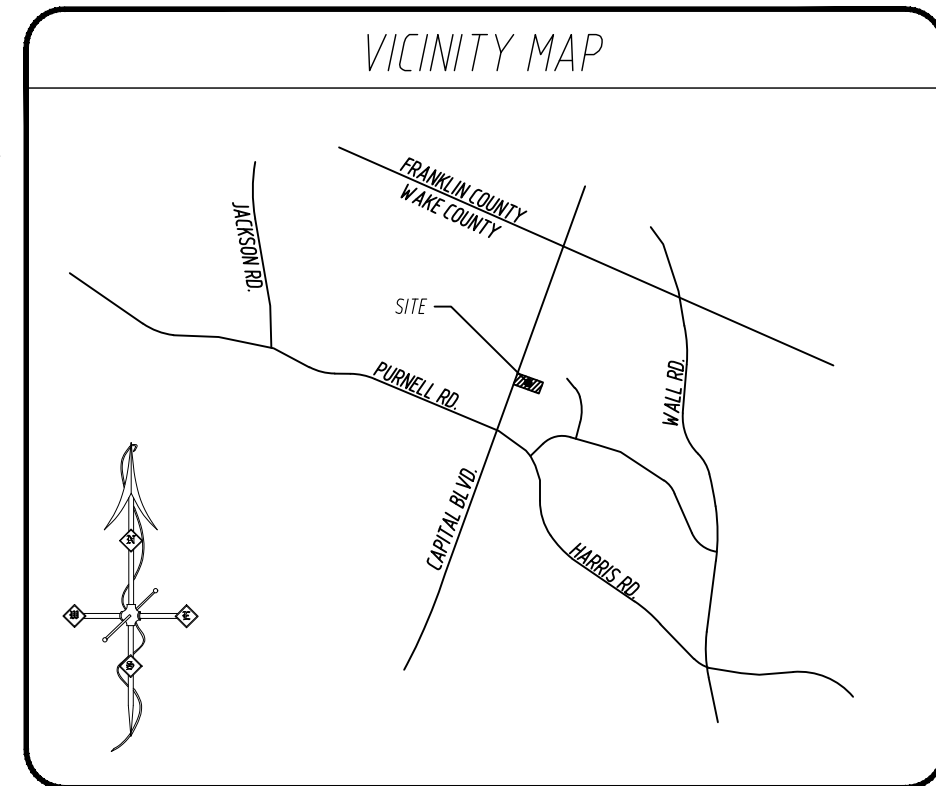


CAPITAL BOULEVARD - U.S. HIGHWAY 1
 (200' PUBLIC RIGHT-OF-WAY)

SIGHT TRIANGLE NOTE
 WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN TWO (2) FEET AND EIGHT (8) FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY, IF NO CURBING EXISTS.



DEVELOPMENT DATA

ZONE:	HB (HIGHWAY BUSINESS DISTRICT) - SPECIAL USE PERMIT SU-07-06
USE:	DENTAL CARE FACILITY
PIN #:	042-21-061
REAL ESTATE ID:	0464903
WATERSHED:	NONE
FLOOD HAZARD ZONE:	ZONE X
ZONING DIMENSIONAL REQUIREMENTS	
MAX LOT AREA:	20,000 SF
MAX DENSITY:	N/A
MIN OPEN SPACE:	N/A
MIN PARK SPACE:	N/A
FRONT SETBACK:	50 FT
REAR SETBACK:	30 FT
STREET SIDE SETBACK:	30 FT
SIDE SETBACK:	10 FT
MAXIMUM HEIGHT:	3 STORIES
COMMUNITY PLAN ZONE:	HIGHWAY CORRIDOR ZONE
CANOPY COVERAGE REQUIREMENT	
CANOPY COVERAGE AREA: 2 CANOPY TREES PER 5,000 SQ. FT. OF PARCEL, OR 1 CANOPY TREE AND 1 UNDERSTORY TREE PER 4,000 SQ. FT. OF PARCEL AREA	
REQUIRED:	36,970 SF OF PARCEL AREA
PROVIDED:	36,970 / 4,000 = 9.24 CANOPY TREES AND 10 UNDERSTORY TREES
EXISTING CANOPY TREES:	7
PROPOSED CANOPY TREES:	4
PROPOSED UNDERSTORY TREES:	10
BUFFER/ADJACENT REQUIREMENTS	
ADJACENT ZONING:	HB
TYPE REQUIRED:	25 FT HIGHWAY CORRIDOR ZONE
BUILDING CALCULATIONS	
SQUARE FOOTAGE OF BUILDING:	4,280 SF
BUILDING HEIGHT:	24'-0" (1 STORY)
IMPERVIOUS AREA	
MAXIMUM ALLOWABLE IMPERVIOUS SURFACE AREA FOR LOT IS 8 TRIANGLES PER HARRIS CROSSING SHOPPING CENTER PLAT AS REFERENCED IN BMD011, PG 223	

PARKING CALCULATION

ITEM	REQUIREMENTS	PROVIDED
BUILDING SIZE	N/A	4,280 SF
PARKING REQUIRED	MEDICAL CLINIC 1 SPACE PER 250 SF 4,280 SF / 250 = 17 SPACES REQUIRED	21 SPACES
MIN. PARKING DIM.	9 FT x 18.5 FT (1ST END STALL)	9 FT x 18.5 FT
MIN. DRIVEWAY WIDTH	26 FT	26 FT
HANDICAP SPACES	2	2
LOADING SPACE	N/A	N/A
BICYCLE SPACE	2 PER 50 AUTO SPACES 21 SPACES = 2 SPACES	2

IMPERVIOUS AREA SUMMARY

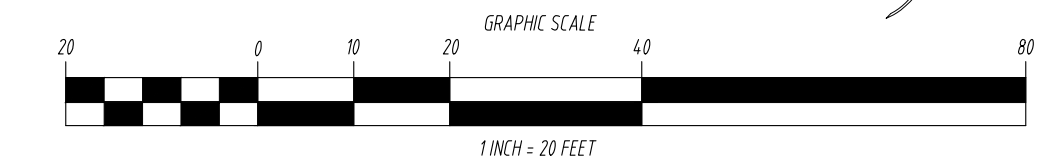
ITEM	AREA (SF)	AREA (ACRES)	% OF TOTAL SITE AREA
SITE AREA - 36,970 SF (0.84 AC)			
BUILDING	4,280 SF	0.12 ACRES	11.58 %
PAVEMENT	12,071 SF	0.28 ACRES	32.65 %
SIDEWALK	1,780 SF	0.04 ACRES	4.82 %
EX. SIDEWALK	119 SF	0.00 ACRES	0.32 %
EX. PAVEMENT	4,977 SF	0.11 ACRES	13.46 %
TOTAL IMPERVIOUS AREA	24,947 SF	0.55 ACRES	67.52 %
GREEN OPEN SPACE	12,023 SF	0.28 ACRES	32.48 %
EXISTING IMPERVIOUS AREA	5,036 SF	0.12 ACRES	13.62 % OF TOTAL SITE AREA
INCREASE IN IMPERVIOUS AREA	19,911 SF	0.44 ACRES	

SIGN LEGEND

LEGEND	QTY
	2
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LINE TABLE

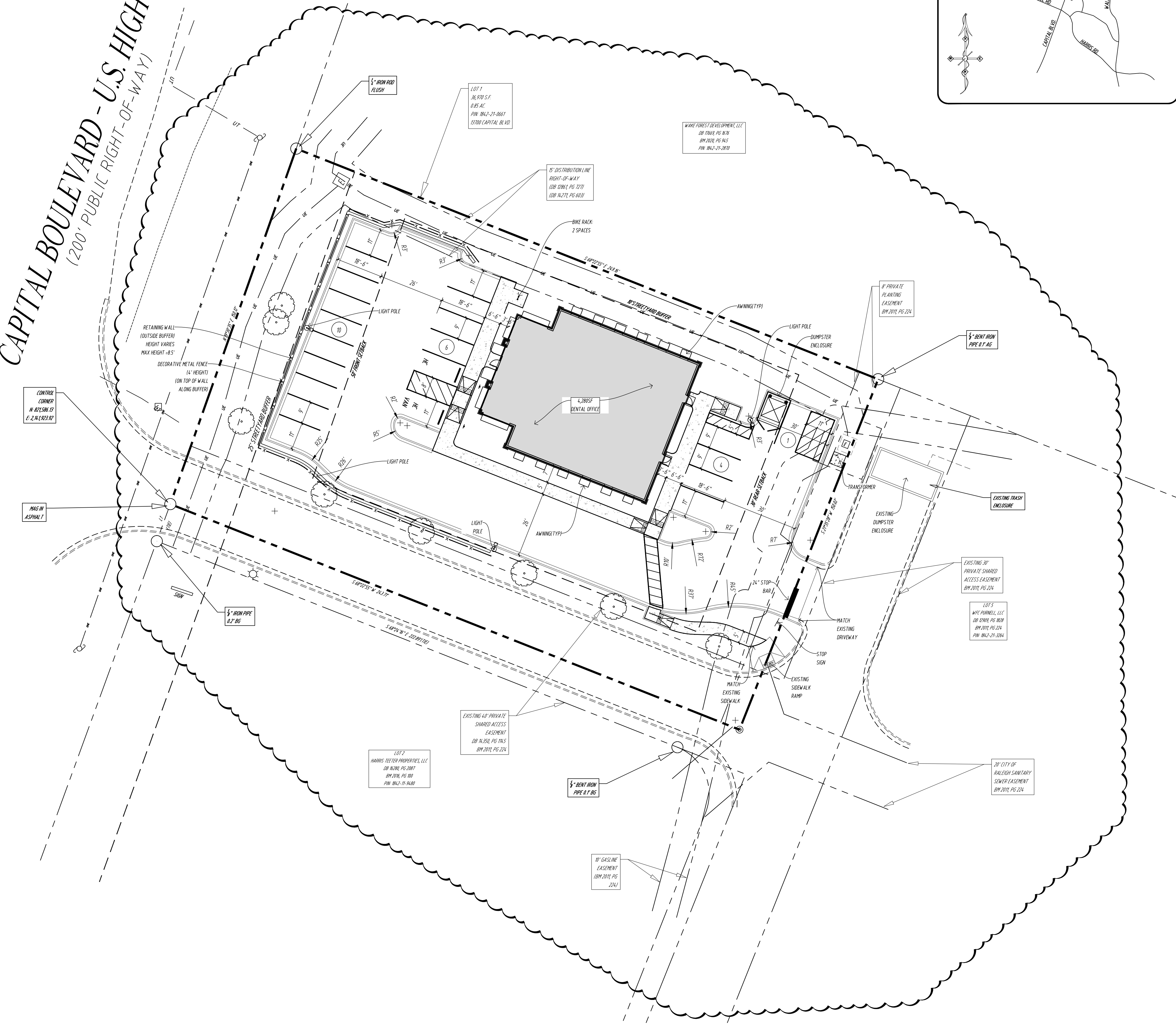
LINE	BEARING	DISTANCE
L1	S 20°02'31" W	15.70'



HEARTLAND DENTAL

REVISION #	DATE	DESC.
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Project No. 006004
 Date: September 3, 2020
 Title: MASTER SITE PLAN
 Sheet No. C1.0



TRIANGLE SITE DESIGN

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Drawn: [Signature]
 Checked: [Signature]
 Approved: [Signature]