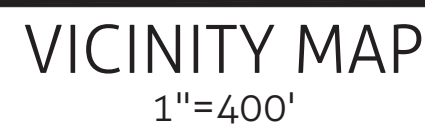


# 11208 COMMON OAKS DR, RALEIGH NC

1st Submittal: 06-21-2019



## GENERAL NOTES

- |     |   |     |  |
|-----|---|-----|--|
| 1.  | ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND NC DOT STANDARDS AND SPECIFICATIONS IF APPLICABLE.   | 15. | THE MINIMUM CURB CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 50 FEET FROM THE POINT OF TANGENCY OF THE CURB FOR WIDE-USE COMMERCE TRAFFIC ONLY. NO DRIVEWAYS SHALL CATCH ON THIS MINIMUM CURB CLEARANCE.  |
| 2.  | THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY WORK WHICH INVOLVES THE CLOSURE OF A STREET, ALLEY, OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE.  | 16. | WC ACCESS RAMP(S) WILL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH PUBLIC WORKS DEPARTMENT STANDARDS AND ADASG SPECIFICATIONS.  |
| 3.  | IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY WILL BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND THE PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF PERMITS OR RECORDING OF ANY PLAT FOR THIS DEVELOPMENT. | 17. | ALL RAMP(S) AND HANDRAILS SHALL BE CONFORM TO ANSI STANDARDS.  |
| 4.  | IF SIGNAGE OR TRAFFIC CONTROL PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTOR AS NEEDED DURING CONSTRUCTION.  | 18. | ALL ABOVE GROUND UTILITY DEVICES (TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE PEDIESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW FLOOD DETECTOR, ETC.) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.  |
| 5.  | A SURVEY INFORMATION PROVIDED TO WITHERSVALEN, RALEIGH, NORTH CAROLINA OFFICE BY CARV, NORTH CAROLINA OFFICE IN DIGITAL, FOREALM AND SUPPLEMENTAL INFORMATION WAS OBTAINED FROM THE CITY OF RALEIGH.  | 19. | ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO MAY HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE AMERICAN WITH DISABILITIES ACT (ADA) AND ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.  |
| 6.  | ALL PROPOSED CURB AND GUTTER WITHIN PUBLIC RIGHT OF WAY SHOWN ON PLANS TO BE 30" CITY OF RALEIGH STANDARD CONCRETE CURB AND GUTTER, AND ALL OTHER PROPOSED CURB AND GUTTER TO BE 24" CONCRETE CURB AND GUTTER UNLESS OTHERWISE STATED ON PLANS.                         | 20. | IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT PUBLIC WORKS DEPARTMENT FOR FURTHER GUIDANCE.  |
| 7.  | ALL DIMENSIONS SHOWN ARE TO BE 24" CURB, UNLESS OTHERWISE STATED ON PLANS.  | 21. | PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT / TRANSPORTATION FIELD SERVICES STAFF TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THE PROJECT. THE MEETING SHALL BE SCHEDULED IN CONTACT ENGINEERING INSPECTIONS AT 919.996.2429 TO SET UP THE MEETING. |
| 8.  | WITHIN THE RIGHT TRIANGLE SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET ABOVE FINISH GRADE AND 8 FEET ABOVE FINISH GRADE TO BE ALLOWED IN ANY CASE. ALL OTHER OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BURN, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.  | 22. | THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.  |
| 9.  | UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN ADEQUATE TURNING RADIUS OF 28' MINIMUM.  | 23. | THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).  |
| 10. | ALL HVAC UNITS SHALL BE SCREENED FROM VIEW OF THE PUBLIC RIGHT OF WAY.  | 24. | ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED A MINIMUM OF 2 WEEKS PRIOR TO THE START OF WORK. THE REQUEST FOR CLOSURE MUST BE SUBMITTED TO THE CITY OF RALEIGH, COMPLETE AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO <a href="mailto:RIGHTOFWAYSERVICE@raleighnc.gov">RIGHTOFWAYSERVICE@raleighnc.gov</a> .  |
| 11. | CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT TO THE CITY OF RALEIGH PERMANENT TO DISCLOSURE APPROPRIATE TO ANY CONSTRUCTION ACTIVITIES. CONTACT NC A-811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.                  | 25. | PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.  |
| 12. | HANDICAP PARKING SPACES AND CURB CUT ACCESS AT LEAST SHALL BE NO GREATER THAN TWO (2) FEET PITCH IN ANY DIRECTION(S) AS PER ADA STANDARDS.  |     |  |
| 13. | PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS.   |     |  |
| 14. | ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE, NO RETAINING WALLS ARE PERMITTED IN THE RIGHT-OF-WAY UNLESS APPROVED BY ENGINEERING.  |     |  |

## SOLID WASTE INSPECTION STATEMENT

1. SOLID WASTE SERVICES ARE TO BE PROVIDED BY A PRIVATE CONTRACTOR.
2. THE DEVELOPER WILL COMPLY WITH ALL REQUIREMENTS SET FORTH IN THE SOLID WASTE MANUAL.
3. HAS A DUMPSTER ON SITE FOR SOLID WASTE AND RECYCLING COLLECTION. SOLID WASTE COLLECTION WILL BE HANDLED BY A PRIVATE VENDOR.

## FIRE DEPARTMENT NOTES


1. THE APPARATUS ROAD SURFACE IS REQUIRED TO BE WITHIN 150 FEET (NFPA 13R); NO SPRINKLING SYSTEM PROPOSED.
2. FIRE HYDRANT SHALL BE LOCATED WITHIN 300' AS MEASURED ALONG THE PATH OF APPARATUS ACCESS ROAD (NCFC 507.5.1)
3. ALL NEW FIRE HYDRANTS SHALL BE EQUIPPED WITH NST THREADS AND WITH A 5/8 INCH STORZ CONNECTION.
4. FIRE FLOW ANALYSIS MUST BE PROVED AT TIME OF BUILDING PERMITS PER THE 2018 NCFC, SECTION 507.3.

## RIGHT-OF-WAY OBSTRUCTION NOTES

1. STREET, LANE, AND SIDEWALK CLOSURES OR DETOURS PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY OR CLOSING OF ANY STREET, LANE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES.
2. A PERMIT REQUEST WITH A TRAFFIC CONTROL AND/OR PEDESTRIAN PLAN SHALL BE SUBMITTED TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV AT WWW.RALEIGHNC.GOV KEYWORD "RIGHT-OF-WAY SERVICES."
3. PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
4. THE CITY OF RALEIGH REQUIRES AN APPROVED RIGHT-OF-WAY OBSTRUCTION PERMIT FOR WORK ON ANY PUBLIC STREET OR SIDEWALK AND NCDOT ROAD WITHIN RALEIGH'S JURISDICTION.
5. ALL TRAFFIC CONTROL SIGNAGE AND PRACTICES SHALL ADHERE TO THE MANUAL ON UNIFORM TRAFFIC CONTROL, AND THE LATEST EDITION OF THE NC DOT "STANDARD SPECIFICATION FOR ROADWAY STRUCTURES," NC DOT "ROADWAY STANDARD DRAWING MANUAL," AND THE NC DOT SUPPLEMENT TO THE MUTCD.
6. ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE USUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES THROUGH THE PROJECT SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
7. ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

## Admiralty Site Review Application (for UDO Districts only)

Development Services Customer Service Center | 1 Exchange Place, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | cda@919-996-8131  
Litchfield Satellite Office | 8530 - 130 Litchfield Park | Raleigh, NC 27601 | 919-996-4200



## DEVELOPMENT SERVICES CUSTOMER SERVICE DEPARTMENT

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When submitting plans, please check the appropriate building type and include the Plan Check document.

BUILDING TYPE		FOR OFFICE USE ONLY	
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	<input checked="" type="checkbox"/> General <input type="checkbox"/> Mixed Use <input type="checkbox"/> Open Lot	Transaction Number  Assigned Project Coordinator  Assigned Team Leader	

GENERAL INFORMATION																
Development Name: <b>Common Oaks Medical Office</b>																
Zoning District: <b>CX-5-PK</b>	Overlay District (if applicable): <b>UWPOD</b>															
Proposed Use: <b>Medical Office</b>																
Work Area Address: <b>11208 Common Oaks Dr.</b>																
Major Street Location: <b>Common Oaks Dr.</b>																
Wake County Property Identification Numbers (PINs) for each parcel to which these guidelines will apply: <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 25%;">P.I.N. <b>1830-50-4745</b></td> <td style="width: 25%;">P.I.N.</td> <td style="width: 25%;">P.I.N.</td> <td style="width: 25%;">P.I.N.</td> </tr> </table>		P.I.N. <b>1830-50-4745</b>	P.I.N.	P.I.N.	P.I.N.											
P.I.N. <b>1830-50-4745</b>	P.I.N.	P.I.N.	P.I.N.													
What is your project type? <table style="width: 100%; border-collapse: collapse;"> <tr> <td><input type="checkbox"/> Apartment</td> <td><input type="checkbox"/> Elderly Facilities</td> <td><input type="checkbox"/> Hospitals</td> <td><input type="checkbox"/> Hotels/Motels</td> <td><input type="checkbox"/> Office</td> </tr> <tr> <td><input type="checkbox"/> Mixed Residential</td> <td><input type="checkbox"/> School</td> <td><input type="checkbox"/> Shopping Center</td> <td><input type="checkbox"/> Banks</td> <td><input type="checkbox"/> Industrial Building</td> </tr> <tr> <td><input type="checkbox"/> Duplex</td> <td><input type="checkbox"/> Telecommunication Tower</td> <td><input type="checkbox"/> Religious Institutions</td> <td><input type="checkbox"/> Residential Care</td> <td><input type="checkbox"/> Cottage Court</td> </tr> </table>		<input type="checkbox"/> Apartment	<input type="checkbox"/> Elderly Facilities	<input type="checkbox"/> Hospitals	<input type="checkbox"/> Hotels/Motels	<input type="checkbox"/> Office	<input type="checkbox"/> Mixed Residential	<input type="checkbox"/> School	<input type="checkbox"/> Shopping Center	<input type="checkbox"/> Banks	<input type="checkbox"/> Industrial Building	<input type="checkbox"/> Duplex	<input type="checkbox"/> Telecommunication Tower	<input type="checkbox"/> Religious Institutions	<input type="checkbox"/> Residential Care	<input type="checkbox"/> Cottage Court
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<input type="checkbox"/> Duplex	<input type="checkbox"/> Telecommunication Tower	<input type="checkbox"/> Religious Institutions	<input type="checkbox"/> Residential Care	<input type="checkbox"/> Cottage Court												
<input checked="" type="checkbox"/> Other: if other, please describe: <b>Medical Office</b>																
Per City Code Section 10-2.8.D.1., summarize the project work scope. For additions, changes of use, or enclosures (per Chapter E of the UDO), include impacts on parking requirements. <b>Construction of a medical office building and associated site improvements.</b>																
Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Design adjustment for block perimeter has been submitted.																
CLIENT/DESIGNER/OWNER: <b>Chartwell Property Group</b> Name: <b>Jack Dunn</b> Address: <b>1330 St. Mary's St., Suite 100, Raleigh, NC 27605</b> Phone: <b>919-621-9909</b> Email: <b>jack.dunn@cpgrp.com</b> Fax:																
CONSULTANT (Contact Person for Plans): <b>WithersRavenel</b> Name: <b>Rob Caudle</b> Address: <b>137 S. Wilmington Street, Suite 200, Raleigh, NC 27601</b> Phone: <b>919-238-0359</b> Email: <b>rcaudle@withersravenel.com</b> Fax:																

PAGE 1 OF 3

[WWW.RALEIGHNC.GOV](http://WWW.RALEIGHNC.GOV)

REVISION 05.13.16

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)	
Zoning Information	Building Information
Zoning District: <b>CX-5-PK</b> If more than one district, provide the acreage of each:  Overlay District: <b>UWPOD</b>  Total Site Acres: Inside City Limits: <input type="checkbox"/> Yes <input type="checkbox"/> No Off street parking: Required: <b>S1</b> Provided: <b>117</b> CDA (Certificate of Appropriateness) case #: HDA (Board of Adjustment) case # A: CUD (Conditional Use District) case # Z:	Proposed building use(s): <b>Medical Office</b> Existing Building(s) sq. ft. gross: <b>0</b> Proposed Building(s) sq. ft. gross: <b>20,314 sf</b> Total sq. ft. gross (existing & proposed): <b>20,314 sf</b> # of stories: <b>1</b> Proposed height of building(s): Ceiling height of 1 <sup>st</sup> Floor:
Stormwater Information	
Existing Impervious Surface: _____ acres/square feet Proposed Impervious Surface: <b>34,670 sf</b> acres/square feet Neuse River Buffer: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Wetlands: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Flood Hazard Area: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, please provide: Alluvial Soils: _____ FEMA Map Panel #: _____ Flood Study: _____
FOR RESIDENTIAL DEVELOPMENTS	
1. Total # Of Apartment, Condominium or Residential Units: <b>N/A</b>	5. Bedroom Units: 1br <b>2br</b> 3br <b>4br</b> or more
2. Total # Of Congregate Care or Life Care Dwelling Units: <b>N/A</b>	6. Infill Development 2.2-7 <b>N/A</b>
3. Total Number of Hotel Units: <b>N/A</b>	7. Open Space (only) or Amenity
4. Overall Total # Of Dwelling Units (1-6 Above): <b>N/A</b>	8. Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
SIGNATURE BLOCK (Applicable to all developments)	
In filling this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.	
I hereby designate: <b>Rob Caudle / Loftee Smith</b>	to serve as my agent regarding this application, to receive and respond to administrative comments, to resultant plans on my behalf and to represent me in any public meeting regarding this application.
I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development.	
Signed _____ Printed Name: <b>Jack Dunn</b>	Date: <b>6/19/19</b>
Signed _____ Printed Name: _____	Date: _____

PAGE 2 OF 3


























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REVISION 05.13.16

## INDEX OF SHEETS

Sheet Number	Sheet Title
C0.0	Cover
C1.0	Existing Conditions
C2.0	Site Plan
C3.0	Grading and Drainage Plan
C4.0	Utility Plan
C5.0	Stormwater Management Plan
L1.0	Landscape Plan
A101	Building Plan
A201	Elevations

## LEGEND

<u>EXISTING</u>			<u>PROPOSED</u>
		FIRE HYDRANT	
	PP	POWER POLE	
	IPS	IRON PIPE SET	
	IPF	IRON PIPE FOUND	
		CALCULATED POINT	
		WATER VALVE	
		CATCH BASIN	
		SANITARY MANHOLE	
		BLOW OFF VALVE	
		PROJECT BOUNDARY LINE	
		ADJACENT PROPERTY LINE	
		RIGHT OF WAY	
	OHE	OVERHEAD ELECTRIC LINE	
	SS	SANITARY SEWER LINE	
		STORM DRAINAGE LINE	
		WATER LINE	
	-405	MAJOR CONTOUR LINE	
	-404	MINOR CONTOUR LINE	

DEVELOPER/OWNER	
J.D. BEAM 1812 TILLERY PLACE, SUITE 100 RALEIGH, NC 27604 919-833-3224  ATTN: GLENN KISTLER	
PREPARED BY:	
 <b>WithersRavenel</b> Engineers   Planners	
137 S Wilmington Street   Suite 200   Raleigh, NC 27601   t: 919.469.3340   license #: C-0832   <a href="http://www.withersravenel.com">www.withersravenel.com</a>	

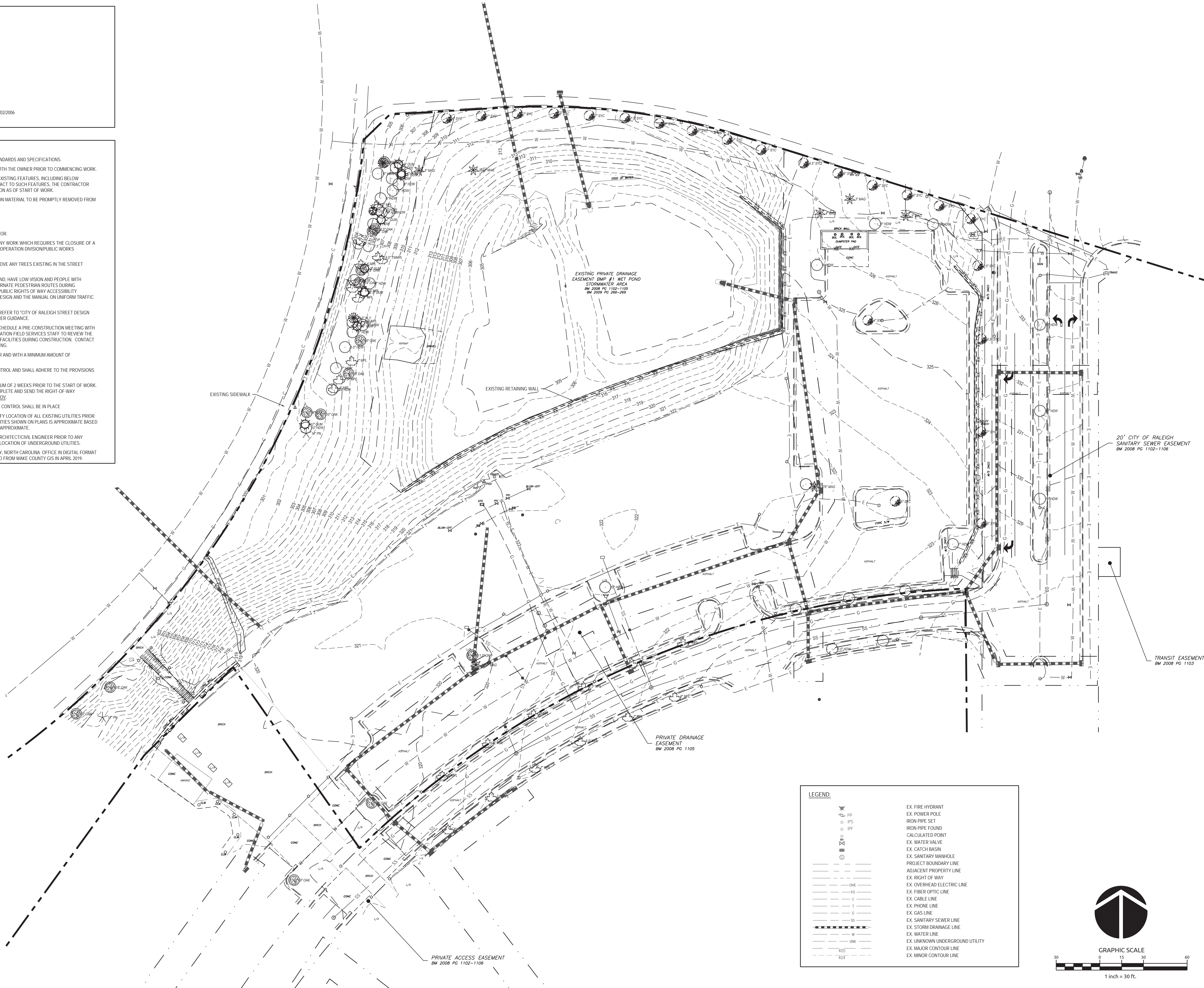


EXISTING SITE DATA:

SITE ADDRESSES: 11206 COMMON OAKS DRIVE,  
RALEIGH, NC 27614  
PINS: 1830-50-4745  
DEED BOOK: DB 012248 PG 00726  
ZONING(S): CX-5-PK  
OVERLAY DISTRICT: N/A  
GROSS ACREAGE: 45.79 AC  
PROPOSED RW DEDICATION: 0.00 AC  
NET ACREAGE: 45.79 AC  
EXISTING USE: VACANT  
EXISTING IMPERVIOUS: 6.0 AC  
FLOOD HAZARD AREA: NO  
FEMA MAP: MAP # 3720183000J, EFFECTIVE DATE 05/02/2006  
ALLUVIAL SOILS: N/A

EXISTING CONDITIONS AND DEMOLITION NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL COORDINATE ALL REMOVAL EFFORTS WITH THE OWNER PRIOR TO COMMENCING WORK.
3. SPECIAL CARE SHALL BE TAKEN TO PROTECT AND MAINTAIN ALL EXISTING FEATURES, INCLUDING BELOW GROUND, NOT MARKED FOR REMOVAL. IN THE EVENT OF ANY IMPACT TO SUCH FEATURES, THE CONTRACTOR SHALL PERFORM REPAIR AND/OR RESTORE TO ORIGINAL CONDITION AS OF START OF WORK.
4. NO DEMOLITION DEBRIS IS TO BE STORED ON SITE. ALL DEMOLITION MATERIAL TO BE PROMPTLY REMOVED FROM THE SITE OR PLACED IN APPROPRIATE CONTAINERS.
5. TRAFFIC CONTROL IS CONTRACTOR'S RESPONSIBILITY.
6. SAWCUT EXISTING ASPHALT AT LOCATION SHOWN ON PLANS.
7. SITE DEMOLITION SEQUENCE TO BE PROVIDED BY THE CONTRACTOR.
8. THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE(S) AND/OR SIDEWALK FROM THE TRANSPORTATION OPERATION DIVISION/PUBLIC WORKS DEPARTMENT.
9. THE CONTRACTOR SHALL OBTAIN A TREE IMPACT PERMIT TO REMOVE ANY TREES EXISTING IN THE STREET RIGHTS-OF-WAY.
10. ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
11. IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT PUBLIC WORKS DEPARTMENT FOR FURTHER GUIDANCE.
12. PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT / TRANSPORTATION FIELD SERVICES STAFF TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THESE FACILITIES DURING CONSTRUCTION. CONTACT ENGINEERING INSPECTIONS AT 919.996.2409 TO SET UP THE MEETING.
13. THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
15. ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED A MINIMUM OF 2 WEEKS PRIOR TO THE START OF WORK. SEE "RIGHT-OF-WAY CLOSURES" ON [WWW.RALEIGHNC.GOV](http://WWW.RALEIGHNC.GOV). COMPLETE AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO [RIGHTOFWAYSERVICES@RALEIGHNC.GOV](mailto:RIGHTOFWAYSERVICES@RALEIGHNC.GOV).
16. PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
17. CONTRACTOR IS EXPLICITLY ADVISED TO FIELD LOCATE AND VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN ON PLANS IS APPROXIMATE BASED ON BEST AVAILABLE INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE.
18. CONTRACTOR TO REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT/CIVIL ENGINEER PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NC ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
19. ALL SURVEY INFORMATION PROVIDED BY WITHERSRAVENEL, CARY, NORTH CAROLINA, OFFICE IN DIGITAL FORMAT IN MARCH 2019, AND SUPPLEMENTAL INFORMATION WAS OBTAINED FROM WAKE COUNTY GIS IN APRIL 2019.

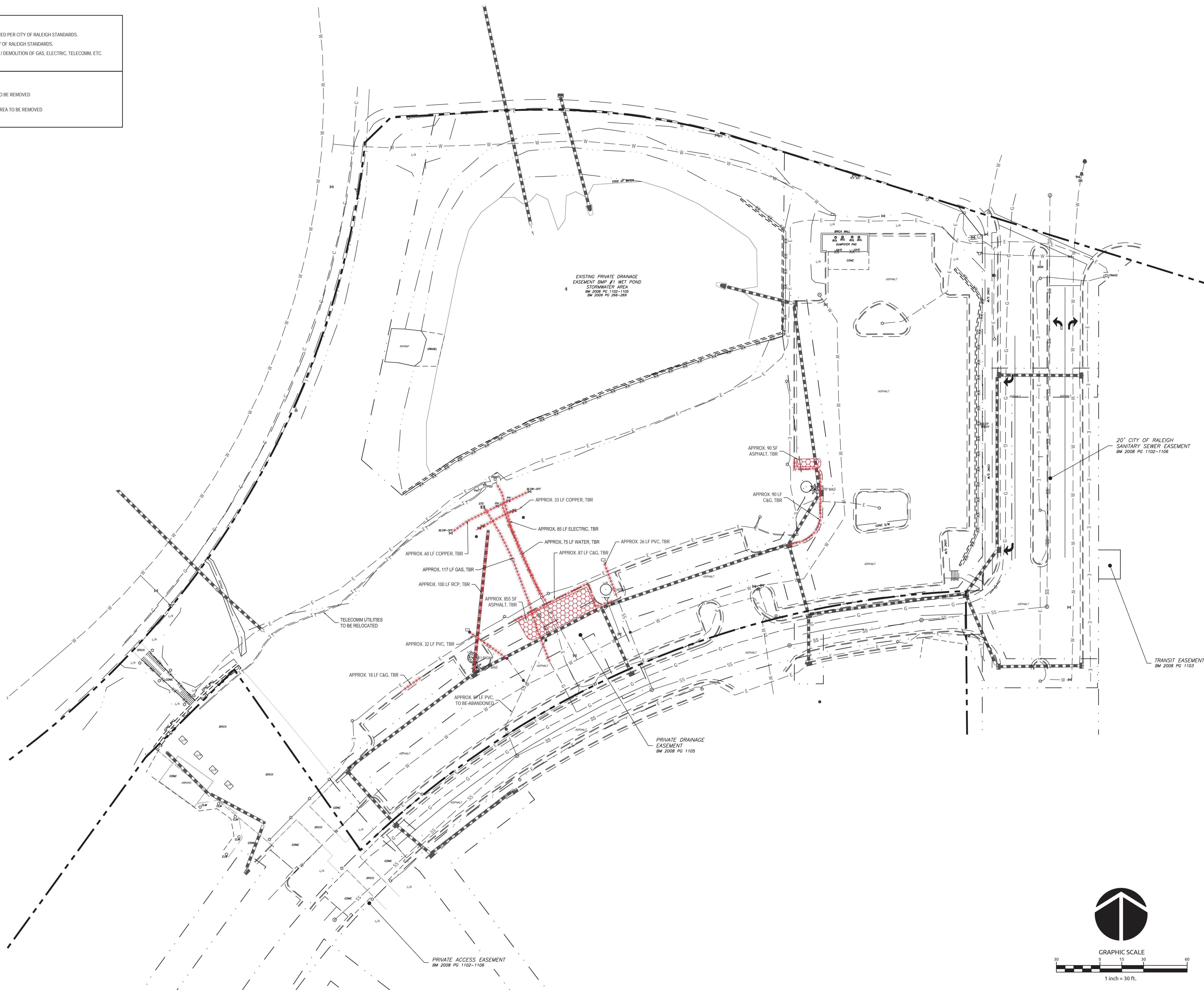




1. WATER AND SEWER SERVICES TO BE ABANDONED / DEMOLISHED PER CITY OF RALEIGH STANDARDS.
2. STORM DRAINAGE TO BE ABANDONED / DEMOLISHED PER CITY OF RALEIGH STANDARDS.
3. CONTRACTOR TO COORDINATE RELOCATION / ABANDONMENT / DEMOLITION OF GAS, ELECTRIC, TELECOMM, ETC. WITH APPLICABLE UTILITY COMPANIES.

XXXXXXXXXXXXXXXXX TO BE REMOVED

AREA TO BE REMOVED





GENERAL NOTES

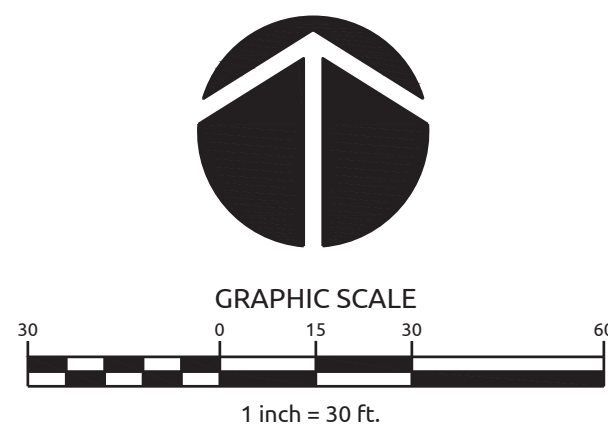
- AMENITY AREA

### PARKING CALCULATIONS (MEDICAL)

## PARKING CALCULATIONS (MEDICAL)

BICYCLE PARKING CALCULATIONS (MEDICAL)

\\c:\1818-0610\180619-11200 Common Oaks Office\CAD\Preliminary Drawings\C2.0 Site Plan.dwg: Friday, June 21, 2019 10:40:06 AM - CAUDLE, ROB



COMMON OAKS MEDICAL  
OFFICE

RALEIGH, NC

**PRELIMINARY**  
NOT APPROVED FOR  
CONSTRUCTION

Revisions

Sheet No.

## C2.0

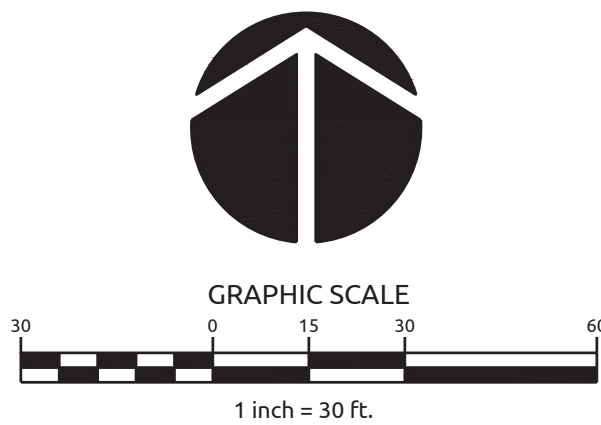
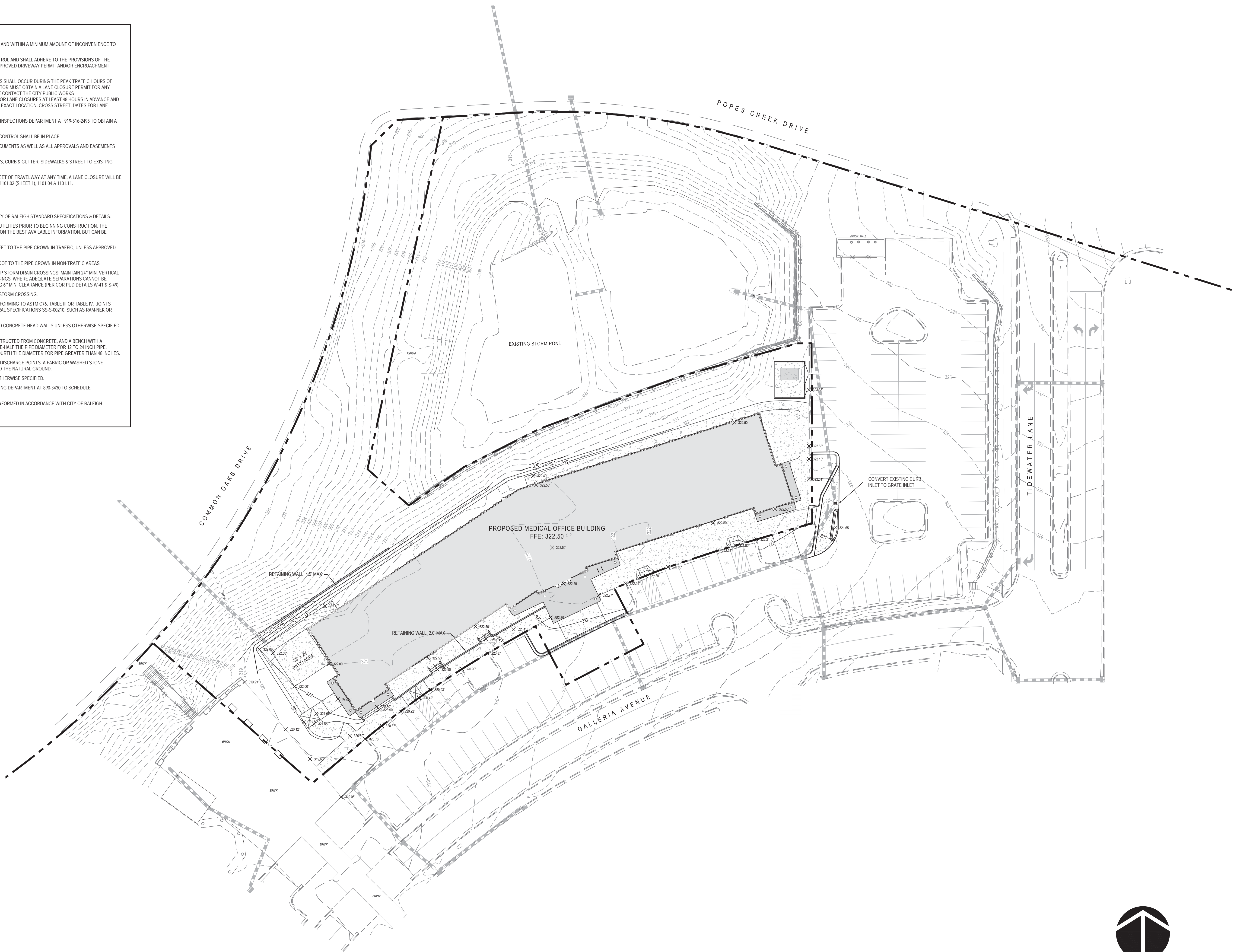


CONSTRUCTION NOTES:

1. THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITHIN A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION) AND ALL CONDITIONS OF THE APPROVED DRIVEWAY PERMIT AND/OR ENCROACHMENT AGREEMENT.
3. NO WORK ON OR BLOCKAGE OF EXISTING THROUGH TRAFFIC LANES SHALL OCCUR DURING THE PEAK TRAFFIC HOURS OF 7AM-9AM AND 4PM-6PM, MONDAY THROUGH FRIDAY. THE CONTRACTOR MUST OBTAIN A LANE CLOSURE PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE. PLEASE CONTACT THE CITY PUBLIC WORKS DEPT. - TRANSPORTATION OPERATIONS DIVISION AT (919)996-3030 FOR LANE CLOSURES AT LEAST 48 HOURS IN ADVANCE AND FOR STREET CLOSURES, AT LEAST 2 WEEKS IN ADVANCE. PROVIDE EXACT LOCATION, CROSS STREET, DATES FOR LANE CLOSURE, CONTACT PERSON AND FAX NUMBER.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE INSPECTIONS DEPARTMENT AT 919-516-2495 TO OBTAIN A STREET CUT PERMIT.
5. PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
6. THE CONTRACTOR SHALL HAVE COMPLETE SET OF CONTRACT DOCUMENTS AS WELL AS ALL APPROVALS AND EASEMENTS ON THE JOB SITE AT ALL TIMES.
7. THE CONTRACTOR SHALL REPAIR ALL DRIVEWAYS, DRIVEWAY PIPES, CURB & GUTTER, SIDEWALKS & STREET TO EXISTING CONDITION OR BETTER.
8. IF THE EXISTING ROADWAY WIDTH IS REDUCED TO LESS THAN 20 FEET OF TRAVELWAY AT ANY TIME, A LANE CLOSURE WILL BE REQUIRED PER THE MUTCD OR THE NCDOT STANDARD DRAWINGS 1101.02 (SHEET 1), 1101.04 & 1101.11.

STORM DRAINAGE NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CITY OF RALEIGH STANDARD SPECIFICATIONS & DETAILS.
2. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE LOCATION OF EXISTING UTILITIES SHOWN ON THE PLANS IS BASED ON THE BEST AVAILABLE INFORMATION, BUT CAN BE CONSIDERED ONLY AS APPROXIMATE.
3. ALL STORM DRAINAGE PIPE SHALL HAVE A MINIMUM COVER OF 2 FEET TO THE PIPE CROWN IN TRAFFIC, UNLESS APPROVED BY THE CITY OF RALEIGH.
4. ALL STORM DRAINAGE PIPE SHALL HAVE A MINIMUM COVER OF 1 FOOT TO THE PIPE CROWN IN NON-TRAFFIC AREAS.
5. MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS. MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER COR PUD DETAILS W-41 & S-49).
6. MAINTAIN 12" VERTICAL SEPARATION AT ALL RCP STORM AND RCP STORM CROSSING.
7. STORM SEWER SHALL BE REINFORCED CONCRETE PIPE (RCP) CONFORMING TO ASTM C76, TABLE III OR TABLE IV. JOINTS SHALL BE SEALED WITH A PLASTIC CEMENT PUTTY MEETING FEDERAL SPECIFICATIONS SS-S-00210, SUCH AS RAM-NEK OR BUTYL RUBBER SEALANT.
8. STORM SEWER PIPE ENDS SHALL BE FURNISHED WITH REINFORCED CONCRETE HEAD WALLS UNLESS OTHERWISE SPECIFIED ON PLANS.
9. EACH DRAINAGE STRUCTURE SHALL HAVE A SHAPED INVERT CONSTRUCTED FROM CONCRETE, AND A BENCH WITH A MAXIMUM 5:1 SLOPE. THE BENCH SHALL BEGIN AT A HEIGHT OF ONE-HALF THE PIPE DIAMETER FOR 12 TO 24 INCH PIPE, ONE-THIRD THE PIPE DIAMETER FOR 30 - 48 INCH PIPE, AND ONE-FOURTH THE DIAMETER FOR PIPE GREATER THAN 48 INCHES.
10. ENERGY DISSIPATERS SHALL BE INSTALLED AT ALL STORM SEWER DISCHARGE POINTS. A FABRIC OR WASHED STONE BARRIER SHALL BE INSTALLED BETWEEN THE DISSIPATION PAD AND THE NATURAL GROUND.
11. ALL STORM DRAINAGE EASEMENTS SHALL BE "PRIVATE" UNLESS OTHERWISE SPECIFIED.
12. THE CONTRACTOR SHALL NOTIFY THE CITY OF RALEIGH ENGINEERING DEPARTMENT AT 890-3430 TO SCHEDULE CONSTRUCTION INSPECTIONS.
13. STORM PIPE TRENCH EXCAVATION AND BACKFILLING SHALL BE PERFORMED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD SPECIFICATIONS AND DETAILS.

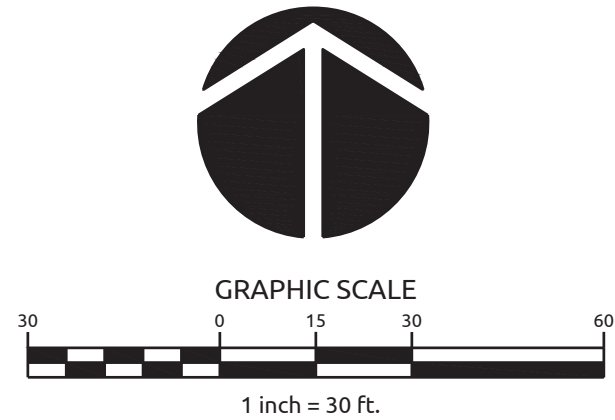
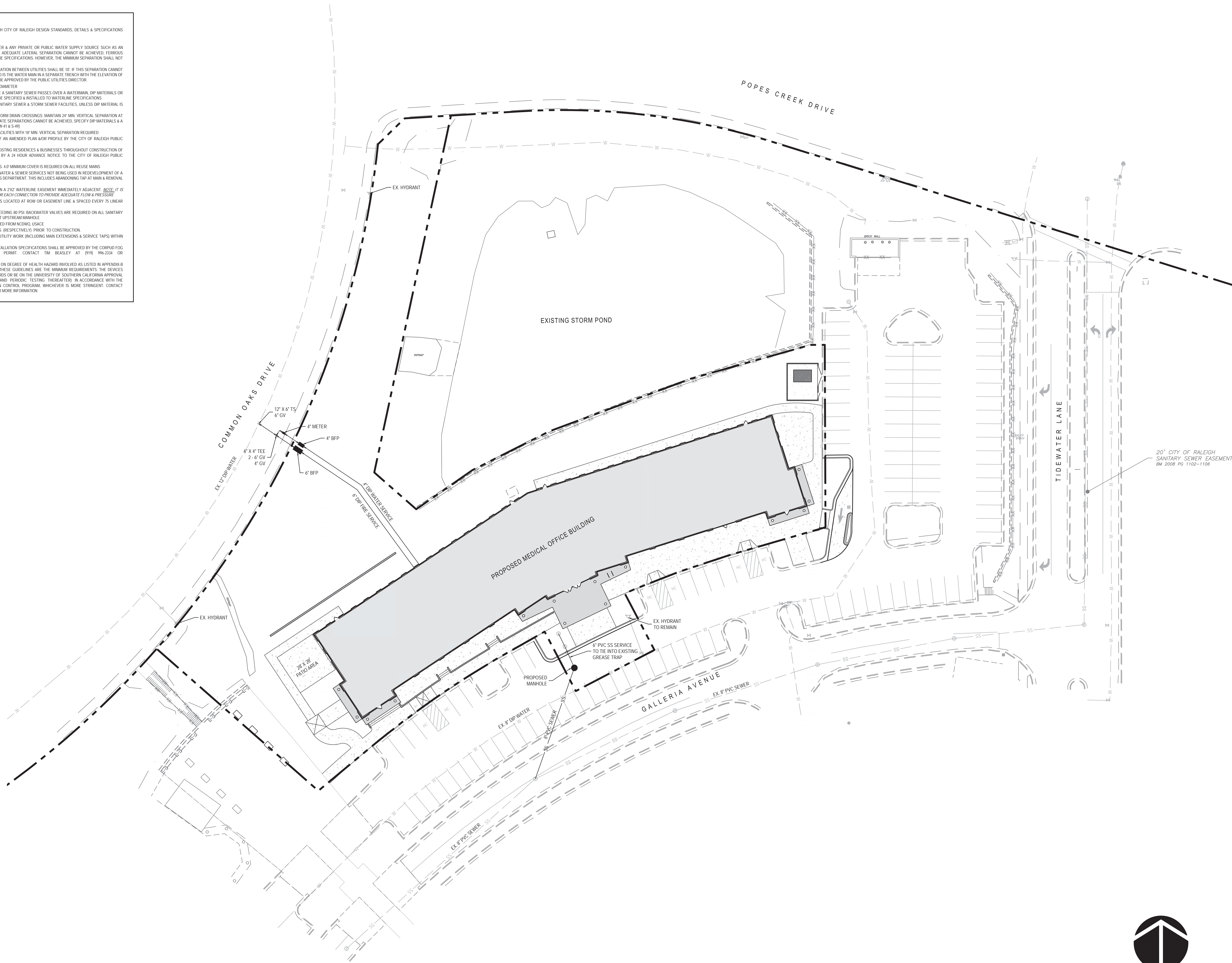


Revisions



STANDARD UTILITY NOTES (AS APPLICABLE):

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
- UTILITY SEPARATION REQUIREMENTS:
  - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
  - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR.ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
  - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS
  - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
  - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS. MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CHADLE HAVING 6" MIN. CLEARANCE, PER CORPUD DETAILS W-11 & S-49.
  - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
  - ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
  - CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
  - 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
  - IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
  - INSTALL 4" DIP WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. *NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.*
  - INSTALL 6" PVC SEWER SERVICES @ 0.5% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
  - PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
  - ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCOW, USACE, &/OR FESA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS, RESPECTIVELY, PRIOR TO CONSTRUCTION.
  - NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
  - GREASE INTERCEPTION OR WATER SEPARATION USING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOC PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGH.GOV FOR MORE INFORMATION.
  - CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5922 OR JOANIE.HARTLEY@RALEIGH.GOV FOR MORE INFORMATION.



Job No.	02180619.00	Drawn By	W&R
Date	06/21/19	Designer	W&R

**PRELIMINARY  
NOT APPROVED FOR  
CONSTRUCTION**

Revisions

Sheet No.

**C4.0**





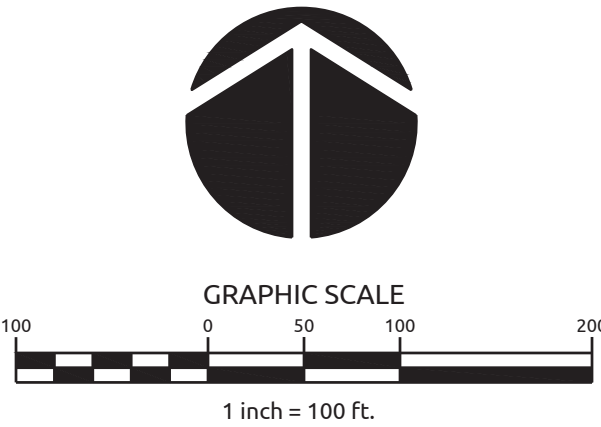
PRE-DEVELOPMENT DRAINAGE AND NITROGEN LOADING MAP

PRE-DEVELOPMENT		
DRAINAGE AREA	2-YEAR PEAK FLOW (CFS)	10-YEAR PEAK FLOW (CFS)
DA 1	2.26	3.94



POST-DEVELOPMENT DRAINAGE AND NITROGEN LOADING MAP

POST-DEVELOPMENT		
DRAINAGE AREA	2-YEAR PEAK FLOW (CFS)	10-YEAR PEAK FLOW (CFS)
DA 1	2.26	3.94



Revisions

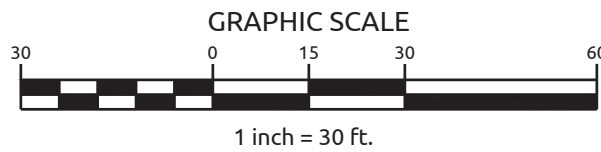


1. THIS PLAN IS FOR PLANTING PURPOSES ONLY. FOR INFORMATION REGARDING GRADING, WALL, ETC., REFER TO THE SITE AND GRADING PLANS.
2. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS AND NCDOT, IF APPLICABLE.
3. NO CHANGES TO ANY ASPECT OF THIS SITE PLAN, INCLUDING BUT NOT LIMITED TO LANDSCAPING, GRADING, BUILDING ELEVATIONS (ESPECIALLY COLLECTOR), LIGHTING, OR UTILITIES WILL BE MADE WITHOUT THE APPROVAL OF THE GOVERNING MUNICIPALITY.
4. THE SITE SHALL BE STABILIZED AND SEEDED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO).
5. ALL ABOVE-GROUND HVAC EQUIPMENT AND UTILITY DEVICES (TO INCLUDE, BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW-DEVICE (TOD) ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.
6. ALL PLANTS AND PLANTING PROCEDURES SHALL MEET OR EXCEED A.N.L.A. STANDARDS AS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK," 2004 OR LATER EDITION.
7. ALL TREES AND SHRUB SHALL BE FULL, WELL-BRANCHED PLANTS WHICH ARE CHARACTERISTIC TO THE SPECIES.
8. ALL PLANT BEDS TO BE MULCHED WITH A MINIMUM OF 3" DOUBLE SHREDDED HARDWOOD MULCH; DYEY BROWN; 2" MAXIMUM PARTICLE SIZE, NO STRAW PERMITTED. ALL PLANT GROUPINGS SHALL BE MULCHED AS ONE BED.
9. APPLY PERMEABLE HERBICIDE TO ALL NEW PLANTING BEDS AT MANUFACTURER'S RECOMMENDATIONS PRIOR TO INSTALLATION OF ANY PLANT MATERIAL.
10. TOPSOIL SHALL BE SPREAD OVER THE ENTIRE LANDSCAPE AREA TO A DEPTH OF AT LEAST 4 INCHES IN LAWN AREAS AND 6 INCHES IN SHRUB AND GRASS COVERED BEDS.
11. FINAL LOCATION OF ALL TURT AREAS SHALL BE APPROVED OWNER ORLANDO LANDSCAPE ARCHITECT.
12. LOCATION OF PLANT MATERIAL TO BE REVIEWED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
13. VERIFICATION OF PLANT QUANTITIES SHOWN ON THIS PLAN SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
14. CONTRACTOR SHALL QUANTIFY ALL EXISTING AND PROPOSED UTILITIES PRIOR TO INSTALLATION OF ANY PLANT MATERIAL. IF CONFLICTS OCCUR, PLANT LOCATIONS SHOULD BE ADJUSTED AND APPROVED BY OWNER AND/OR LANDSCAPE ARCHITECT BEFORE ANY HOLE IS DUG.
15. WITHIN THE SITE STRANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLLAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.

## UWPOD TREE PLANTING SPACING CHART

1. UWPOD AREA TO BE PLANTED IN ACCORDANCE WITH UDO 9.1.9.A
2. 1 BARE-ROOT SEEDLING AT LEAST 14 INCHES TALL TO BE PLANTED PER 100 SF (10' X 10' ON CENTERS).
3. EXISTING TREES TO REMAIN UNDISTURBED.

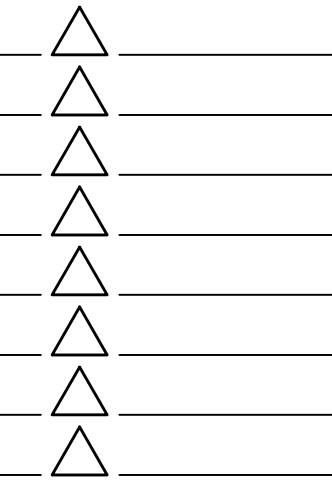
PLANT SCHEDULE								
PLANT TYPE	QTY	KEY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	HEIGHT	NOTES
SHADE TREES	3	NT0	Quercus texana	Nuttall Oak	B&B	3' CAL. MIN.	10' HT. MIN.	MATCHED





NOT FOR  
CONSTRUCTION

PROGRESS PRINT  
HEALTH DEPT. PLAN CHECK  
6/20/19 BUILDING DEPT. PLAN CHECK  
BID SET  
CONSTRUCTION SET  
SUBMITTAL DOCUMENT



THE DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT FOR THIS PROJECT ARE INSTRUMENTS OF THE ARCHITECT'S SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT AND UNLESS OTHERWISE PROVIDED, THE ARCHITECT SHALL BE DEEMED THE AUTHOR OF THESE DOCUMENTS AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS OR OTHER DOCUMENTS SHALL NOT BE USED BY THE OWNER OR OTHERS ON OTHER PROJECTS, FOR ADDITIONS TO THIS PROJECT BY OTHERS EXCEPT BY AGREEMENT IN WRITING BY THE ARCHITECT.

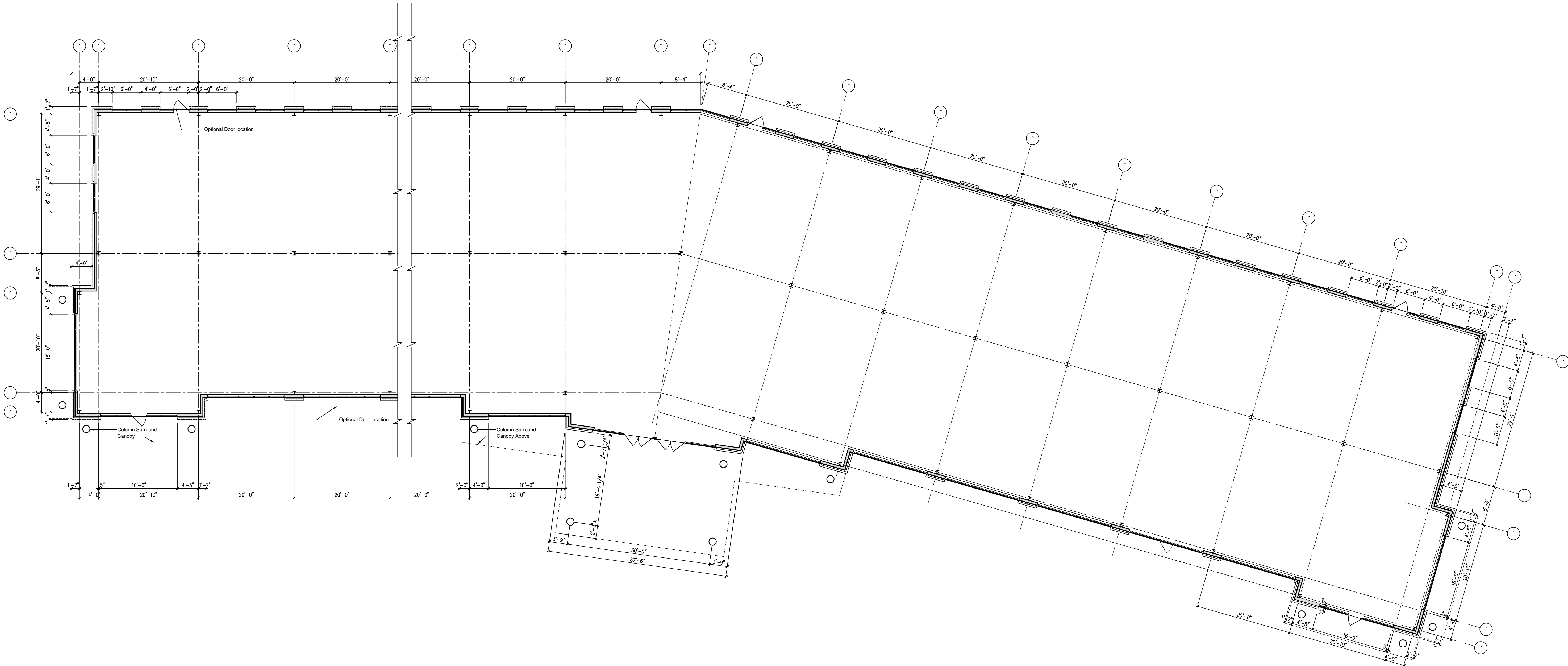
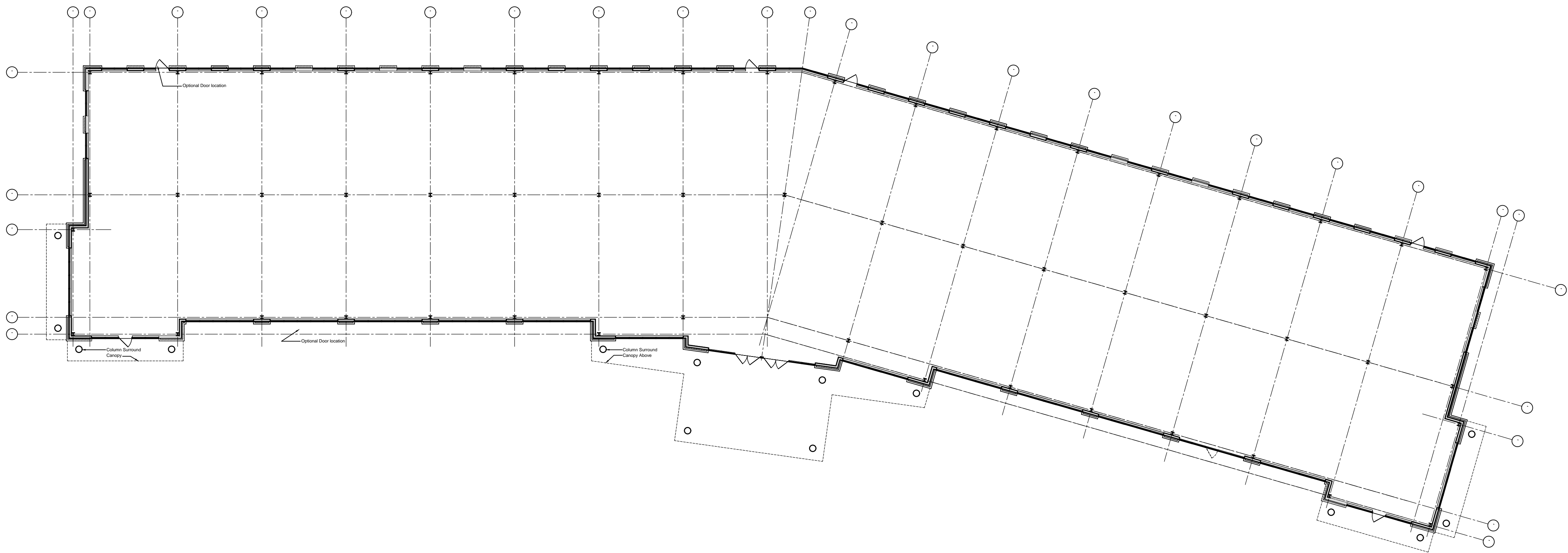
COMMON OAKS MEDICAL  
OFFICE

Wakefield Park  
Raleigh, North Carolina

Site Plan Submittal

DESIGNER :  
DRAWN :  
CHECKED :  
SCALE : 3/32"=1'-0"  
JOB NUMBER :  
SHEET TITLE : Floor Plan

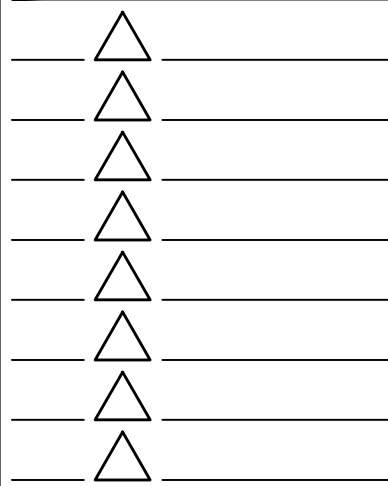
SHEET NUMBER  
A101





NOT FOR  
CONSTRUCTION

- ☒ PROGRESS PRINT
- ☐ HEALTH DEPT. PLAN CHECK
- ☐ BUILDING DEPT. PLAN CHECK
- ☐ BID SET
- ☐ CONSTRUCTION SET
- ☐ SUBMITTAL DOCUMENT



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Rex Campus Outbuilding #3

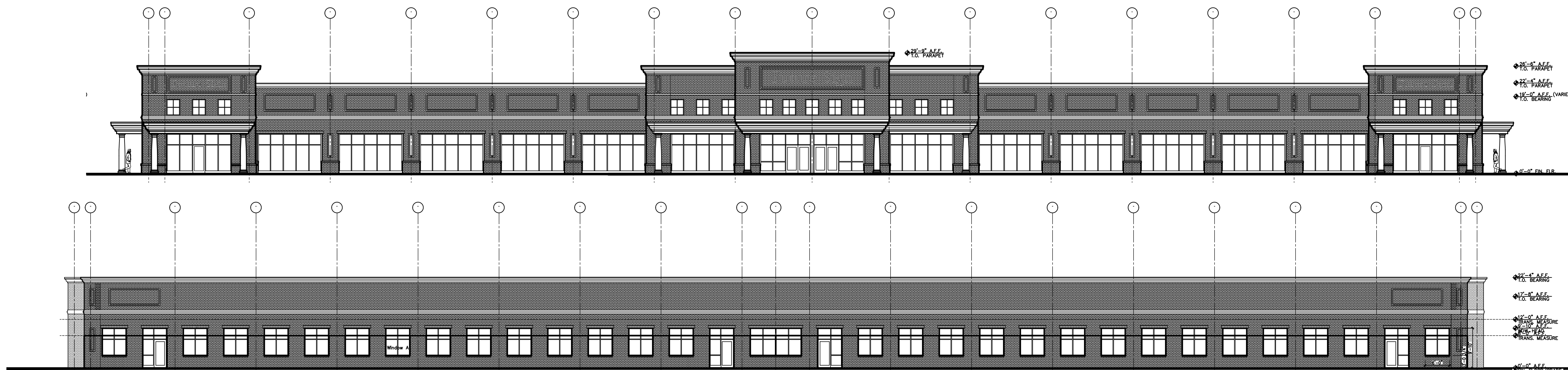
Shell

Wakefield Park  
Raleigh, North Carolina

Budget Pricing Set

DESIGNER : -  
DRAWN : -  
CHECKED : -  
SCALE : 3/32"=1'-0"  
JOB NUMBER : -  
SHEET TITLE : Exterior Elevations

SHEET NUMBER  
A201

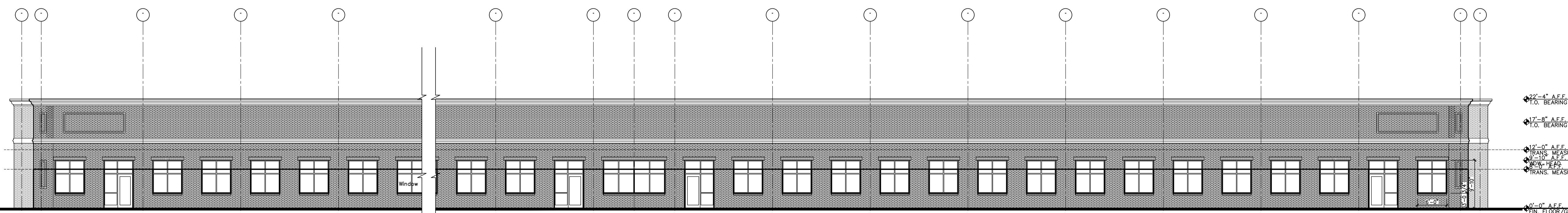


Transparency Calculations:			
North Elevation - Common Oaks Drive			
GROUND LEVEL SURFACE AREA: (WITHIN 0'-0"=12'-0")	4,098 SF		
AREA OF REQ'D TRANSPARENCY (33%):	1,352 SF		
ACTUAL AREA OF TRANSPARENCY WITHIN 0'-0"=12'-0" PROVIDED:	1,459 SF (36%)		
AREA OF REQ'D TRANSPARENCY WITHIN 3'-0"=8'-0" (50% OF REQ'D TRANSPARENCY AREA):			
678 SF			
ACTUAL AREA OF TRANSPARENCY WITHIN 3'-0"=8'-0" PROVIDED:	1,084 SF (66%)		
WINDOW A:			
LENGTH: 6'-0"			
HEIGHT: 6'-9 1/4"			
(AREA = 40.625 SF)			
WINDOW B:			
LENGTH: 12'-8"			
HEIGHT: 6'-9 1/4"			
(AREA = 85.77)			
DOOR/TRANSOM:			
LENGTH: 6'-0"			
HEIGHT: 9'-10"			
(AREA = 59.00)			

NOTE: ALL BUILDING MATERIAL REFERENCES HAVE BEEN REMOVED  
ALL GLAZING ALLOW VIEWS INTO THE GROUND STORY USE FOR A DEPTH OF AT LEAST 8 FEET TO MEET UDD SEC.1.5.9.3.3  
GLASS TO EXCEED BOX TRANSPARENCY AND HAVE AN EXTERNAL REFLECTANCE OF LESS THAN 15% IN COMPLIANCE W/ SEC.1.5.9.6.4

4 East Elevation  
SCALE: 3/32"=1'-0"

3 West Elevation  
SCALE: 3/32"=1'-0"



2 North Elevation  
SCALE: 3/32"=1'-0"



1 South Elevation  
SCALE: 3/32"=1'-0"