

# HOLLYBROOK PHASE 1

## THE MEADOWS AT HOLLYBROOK CONSTRUCTION DOCUMENTS WENDELL

### NORTH CAROLINA 27591

### MARCH 18, 2019



VICINITY MAP  
NOT TO SCALE

**Fire Marshal Comments:**

- 503.2.1 Dimensions**  
"Fire apparatus access roads shall have an unobstructed width of not less than 20 feet (6096 mm), exclusive of shoulders, except for approved security gates in accordance with Section 503.6, and an unobstructed vertical clearance of not less than 13 feet 6 inches (4115 mm)."
- 503.2.4 Turning radius**  
The required turning radius of a fire apparatus access road shall be determined by the fire code official.
- 503.2.5 Dead ends**  
"Dead-end fire apparatus access roads in excess of 150 feet (45,720 mm) in length shall be provided with an approved area for turning around fire apparatus."

- Plan and profile too busy, modify scale to 1"=30' Horizontal and 1"=3' Vertical.

- Place water on the East & North side of the streets and sewer on the West and South (Justify otherwise)

#### SITE CALCULATIONS

ZONE	R-4-CD			
PHASE AREA ("THE MEADOWS")	759,673 SF (17.44 AC)			
AREA IN RIGHT-OF-WAY (ALL STREETS ARE PUBLIC)	123,952 SF (2.85 AC) (INCLUDES S. HOLLYBROOK RD. DEDICATION)			
NET AREA	635,721 SF (14.59 AC)			
OPEN SPACE	180,666 SF (4.15 AC)			
PARCEL AREA (39 UNITS)	455,055 SF (10.45 AC)			
LINEAR FEET OF STREETS	RESIDENTIAL MAIN (64' RIGHT-OF-WAY)	1,100 LF		
	LOCAL (52' RIGHT-OF-WAY)	746 LF		
SEWER ALLOCATION	39 LOTS * 250 GAL/DAY (ASSUME 3-BR UNITS) = 9,750 GPD			
8" SEWER MAIN	1,619 FT			
12" SEWER MAIN	1,081 FT			
6" WATER MAIN	581 FT			
8" WATER MAIN	1,404 FT			
	APPROVED/REQUIRED (PER O-17-2018)	PREVIOUSLY PROVIDED (GLEN)	PROVIDED (MEADOWS)	BALANCE
LOT COUNT	310 MAX	62 LOTS	39 LOTS	209 LOTS
DENSITY	-	2.69 U/A	2.67 U/A	2.69 U/A
OPEN SPACE DEDICATION	2,500 SF/DWELLING * 39 LOTS = 97,500 SF	408,770 SF	180,666 SF	
75% PASSIVE (UNIMPROVED)	73,125 SF	+ 282,400 SF (BALANCE)	180,666 SF	+389,941 SF
25% PARK SPACE (IMPROVED - UDO 7.5.C.)	24,375 SF	- 28,630 SF (BALANCE)	0 SF	- 53,005 SF
<b>TOTAL OPEN SPACE</b>	<b>97,500 SF</b>	<b>+ 253,770 SF (BALANCE)</b>	<b>180,666 SF</b>	<b>+336,936 SF</b>
LOT SIZE				
MINIMUM	6,000 SF	6,043 SF	6,441 SF	6,043 SF
MAXIMUM	-	17,848 SF	30,701 SF	30,701 SF
AVERAGE	-	8,678 SF	11,668 SF	9,833 SF
MIN. LOT WIDTH	55'	55'	55'	55'
MIN. LOT DEPTH	100'	100'	100'	100'
SETBACKS				
FRONT	25'	25'	25'	25'
FRONT YARD ENCROACHMENT	8'	8'	8'	8'
SIDE	5'	5'	5'	5'
REAR	20'	20'	20'	20'
ACCESSORY STRUCTURE SIDE/REAR	5'	5'	5'	5'
MAXIMUM HEIGHT	3 STORIES	3 STORIES	3 STORIES	3 STORIES
CONNECTIVITY INDEX (LINKS+CONNECTORS)/NODES	1.4	10 LINKS 1 CONNECTOR 5 NODES INDEX = 2.2	7 LINKS 2 CONNECTORS 5 NODES INDEX = 1.8	17 LINKS 3 CONNECTORS 10 NODES INDEX = 2.0
REQUIRED STUBS	4	1	1	2
MAX. BLOCK LENGTH	800 FT	763 FT	614 FT	763 FT
AVERAGE BLOCK LENGTH	600 FT MAX.	363.53 FT	263.62 FT	332.39 FT
MAX. CUL-DE-SAC LENGTH	300'	300'	300'	300'

#### SHEET INDEX

-	COVER SHEET
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Speed limits along with consistency of posting is a little unclear. I have seen reference to 25mph and 30 mph. Please take a look at the plan to ensure consistency and adequate signage to promote voluntary compliance and enforcement when necessary.

**OWNER/APPLICANT:**  
**SMITH-EDWARDS, LLC**  
2643A WENDELL ROAD  
WENDELL, NC 27591

**CIVIL ENGINEER:**  
**JOHN A. EDWARDS & COMPANY**  
Consulting Engineers  
NC License F-0289  
333 Wade Ave., Raleigh, N.C. 27605  
Phone: (919) 828-4428  
Fax: (919) 828-4711  
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Since sanitary sewer for 'The Meadows' is to flow into the sanitary sewer system for 'The Glen', place a note on the cover sheet that no CO's will be issued until 'The Meadows' sanitary sewer system has been constructed, inspected, and accepted by CORPUD.

Include impervious surface area information (streets, lots, sidewalks, mail kiosks, utilities, etc.) in site data table.

I hereby certify that this Plan was approved by the (Administrator) or (TRC) of the Town of Wendell on the \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

#### ATTENTION CONTRACTORS:

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Utilities Department at (919) 396-4560 at least twenty four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

**Public Water Collection/Extension System**  
The City of Raleigh consents to the connection and extension of the City's public water system as shown on this plan. The material and Construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh  
Public Utilities Department Permit # \_\_\_\_\_  
Authorization to Construct \_\_\_\_\_  
Date \_\_\_\_\_

**Public Sewer Collection/Extension System**  
The City of Raleigh consents to the connection and extension of the City's public sewer system as shown on this plan. The material and Construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh  
Public Utilities Department Permit # \_\_\_\_\_  
Authorization to Construct \_\_\_\_\_  
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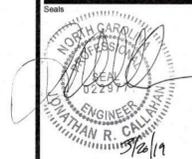
HORIZONTAL DATUM: NAD83  
VERTICAL DATUM: NAVD88



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Project

**THE MEADOWS AT HOLLYBROOK**

Client

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WENDELL, NC 27591

**ABBREVIATIONS**

EX	EXISTING	TBRL	TO BE RELOCATED
PROP	PROPOSED	FP	FLOOD PLAN
APPROX	APPROXIMATE	FEMA	FEDERAL
LOC	LOCATION		EMERGENCY
BM	BOOK OF MAPS		MANAGEMENT
DB	DEED BOOK		AGENCY
PG	PAGE	ESMT	EASEMENT
NIF	NOW OR FORMERLY	TYP	TYPICAL
ROW	RIGHT OF WAY	SWM	STORMWATER
EIP	EX IRON PIPE		MANAGEMENT
EMAG	EX MAG NAIL	SF	SQUARE FEET
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	MONUMENT	LF	LINEAR FEET
EIR	EX IRON ROD	UDO	UNIFIED
IPS	IRON PIPE SET		DEVELOPMENT
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PH	FIRE HYDRANT	NCDOT	NORTH CAROLINA
ELEC	ELECTRIC		DEPARTMENT OF
TBD	TO BE DETERMINED		TRANSPORTATION
TBR	TO BE REMOVED		

**LEGEND**

Drawing Title

**PHASING PLAN**

Revisions

Number	Description	Date

JAECO #: 297-02

DRAWING SCALE: 1" = 200'

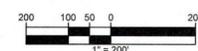
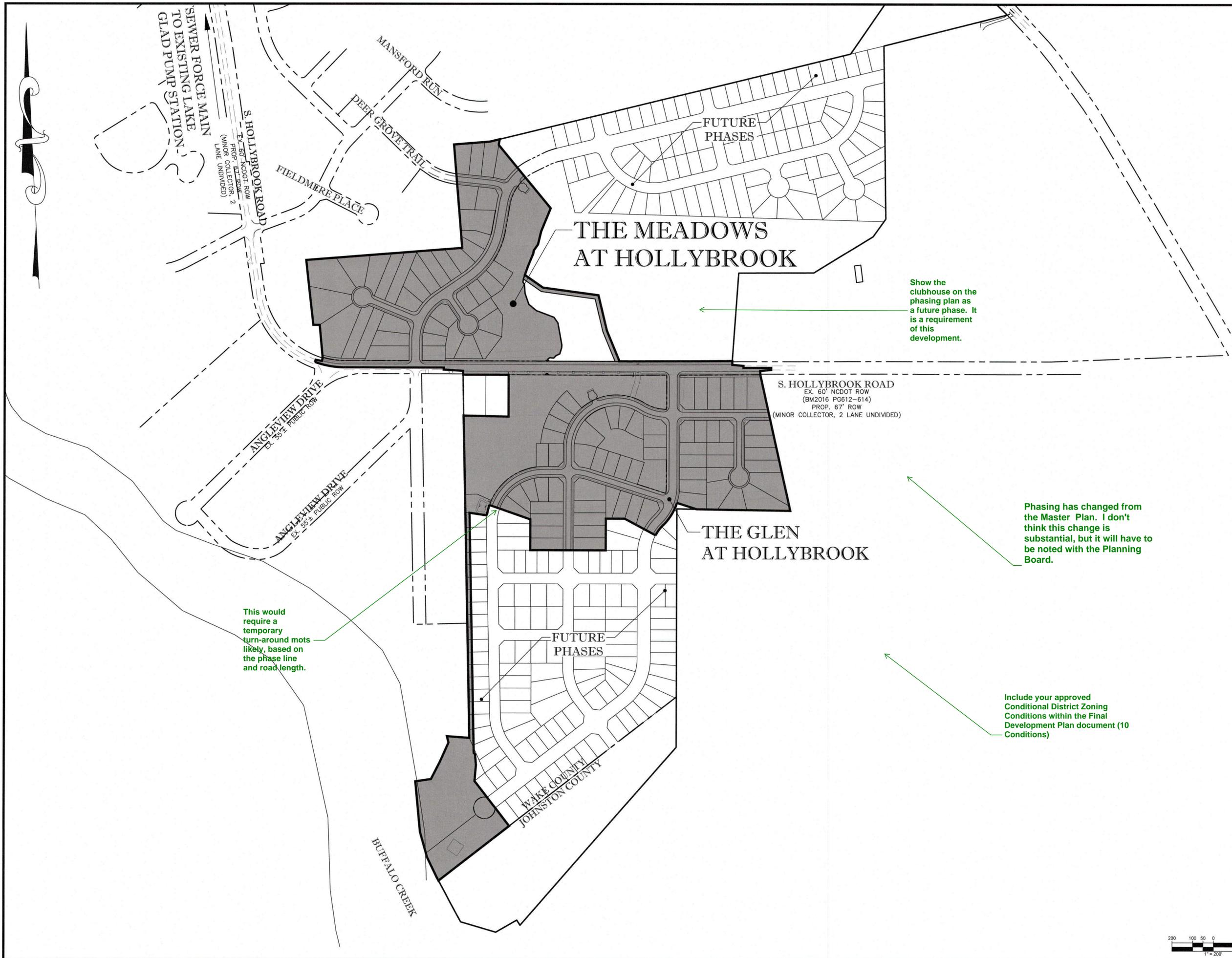
DRAWN BY: TT

CHECKED BY: JC

DATE ISSUED: 03/18/19

**C-1**

2 of 21

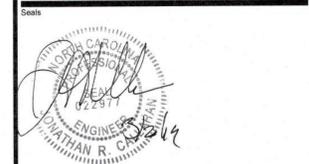




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TBD	TO BE DETERMINED		DEPARTMENT OF
TBR	TO BE REMOVED		TRANSPORTATION

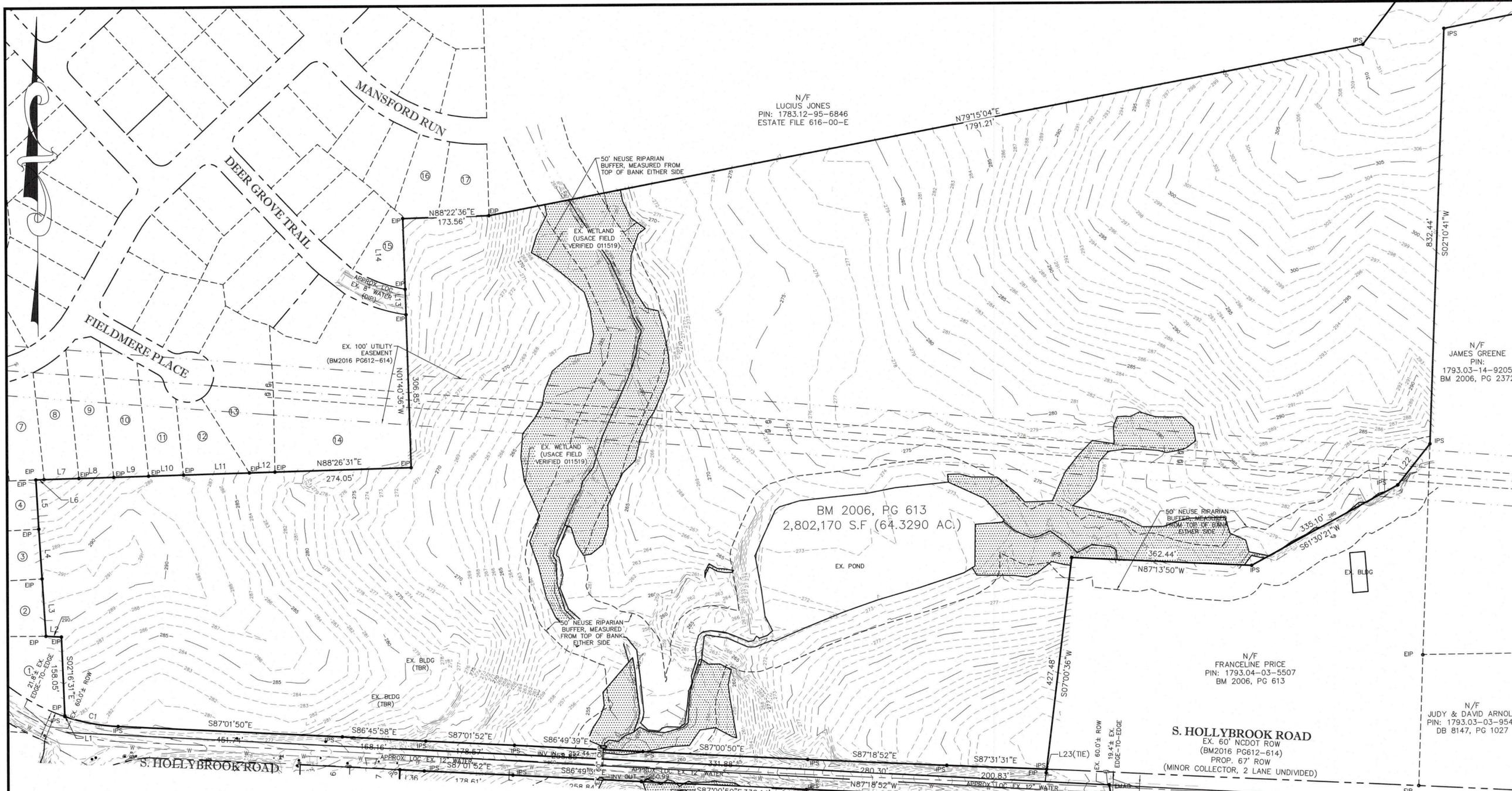
**LEGEND**

①	EX. CONDITIONS/DEMOLITION PLAN
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**EX. CONDITIONS/DEMOLITION PLAN**

Number	Description	Date

JAECO #: 297-02  
DRAWING SCALE: 1" = 50'  
DRAWN BY: TT  
CHECKED BY: JC  
DATE ISSUED: 03/18/19 3 of 21



N/F  
LUCIUS JONES  
PIN: 1783.12-95-6846  
ESTATE FILE 616-00-E

N/F  
JAMES GREENE  
PIN:  
1793.03-14-9205  
BM 2006, PG 2372

BM 2006, PG 613  
2,802,170 S.F. (64.3290 AC.)

N/F  
FRANCELINE PRICE  
PIN: 1793.04-03-5507  
BM 2006, PG 613

N/F  
JUDY & DAVID ARNOLD  
PIN: 1793.03-03-9540  
DB 8147, PG 1027

**S. HOLLYBROOK ROAD**  
EX. 60' NCDOT ROW  
(BM2016 PG612-614)  
PROP. 67' ROW  
(MINOR COLLECTOR, 2 LANE UNDIVIDED)

**ADJOINING OWNERS**

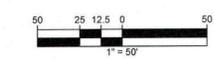
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PIN: 1783830507  
DB 9258 PG 892  
ZONE: RA  
USE: RESIDENTIAL  
VALLETTE, DAVID J VALLETTE, FEDA  
PIN: 1783739750  
DB 12335 PG 1759  
ZONE: RA  
USE: RESIDENTIAL  
YOUNG, RAY E YOUNG, GRACE  
PIN: 1783739840  
DB 12376 PG 1833  
ZONE: RA  
USE: RESIDENTIAL  
MURIEL J BALDWIN REVOCABLE LIVING TRUST  
PIN: 1783739849  
DB 13290 PG 2362  
ZONE: RA  
USE: RESIDENTIAL  
KIRBY, DWIGHT KIRBY, MICHELLE  
PIN: 1783748092  
DB 16873 PG 2439  
ZONE: R3  
USE: RESIDENTIAL  
EMBREE, TYLER O GLATFELTER, KAYLA M  
PIN: 1783749053  
DB 16814 PG 1727  
ZONE: R3  
USE: RESIDENTIAL  
SCHILLIZZI, JOSEPH SCHILLIZZI, AMY  
PIN: 1783840024  
DB 16832 PG 2023  
ZONE: R3  
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GUTIERREZ, LUIS GONZALO TREVINO, LORENA  
PIN: 1783840096  
DB 16735 PG 839  
ZONE: R3  
USE: RESIDENTIAL  
SCOGGINS, MICHAEL ANDREW SCOGGINS, EMILY SCALES  
PIN: 1783841068  
DB 16823 PG 1640  
ZONE: R3  
USE: RESIDENTIAL

- ⑩ CODY, JAMES HENRY CODY, ETHEL  
PIN: 1783842037  
DB 16712 PG 2530  
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HOLLOWAY, KELVIN HOLLOWAY, NATALIE  
PIN: 1783843005  
DB 16712 PG 1572  
ZONE: R3  
USE: RESIDENTIAL  
WILLIAMS, TERESA TONYA WILLIAMS, GEORGE JR  
PIN: 1783843091  
DB 16697 PG 2783  
ZONE: R3  
USE: RESIDENTIAL  
LEE, RODNEY ANTHONY  
PIN: 1783844085  
DB 16593 PG 1026  
ZONE: R3  
USE: RESIDENTIAL  
JONES, LUCIUS S  
PIN: 1783846171  
DB 616 PG 000E  
ZONE: R3  
USE: VACANT  
JONES, LUCIUS S  
PIN: 1783847369  
DB 616 PG 000E  
ZONE: R3  
USE: VACANT  
JONES, LUCIUS S  
PIN: 1783848534  
DB 616 PG 000E  
ZONE: R3  
USE: VACANT  
JONES, LUCIUS S  
PIN: 1783849523  
DB 616 PG 000E  
ZONE: R3  
USE: VACANT

LINE #	LENGTH	DIRECTION	LINE #	LENGTH	DIRECTION
L1	1.40'	S02° 42' 06"E	L20	50.59'	S43° 57' 07"E
L2	31.01'	S87° 00' 25"E	L21	53.12'	S43° 08' 47"E
L3	115.17'	S03° 33' 47"E	L22	104.71'	S38° 34' 34"W
L4	99.92'	S03° 32' 15"E			
L5	99.25'	S03° 12' 41"E			
L6	16.46'	N88° 05' 44"E			
L7	70.25'	N88° 28' 30"E			
L8	70.15'	N88° 31' 04"E			
L9	70.19'	N88° 25' 03"E			
L10	70.17'	N88° 31' 51"E			
L11	132.82'	N88° 31' 09"E			
L12	51.49'	N88° 24' 46"E			
L13	50.85'	N01° 35' 34"W			
L14	141.66'	N01° 42' 42"W			
L15	82.47'	S50° 21' 34"E			
L16	97.70'	S49° 46' 46"E			
L17	75.89'	S48° 09' 38"E			
L18	84.02'	S46° 40' 27"E			
L19	73.02'	S45° 25' 04"E			

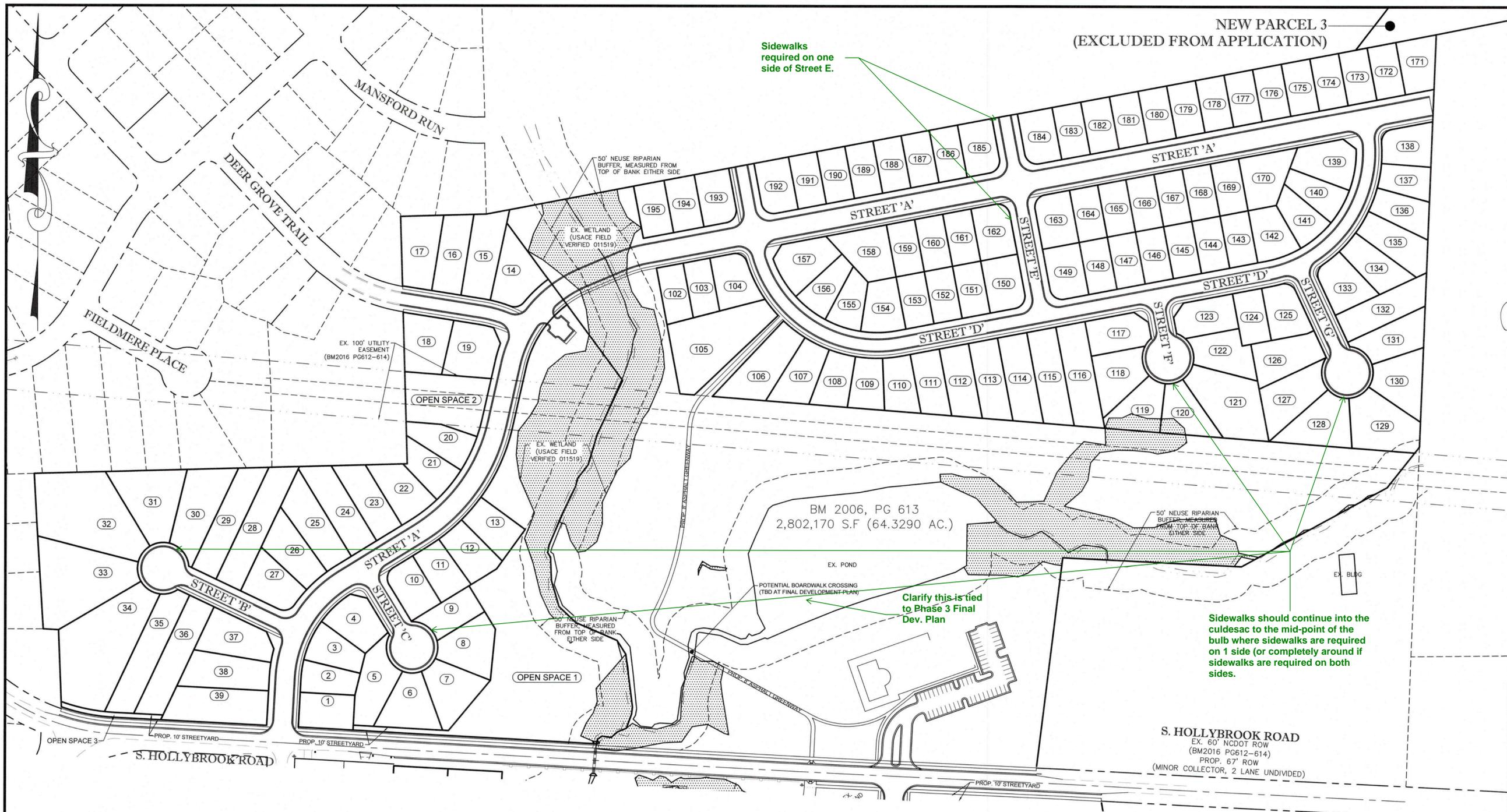
**NOTES:**

1. ALL DISTANCES ARE HORIZONTAL GROUND.
2. ALL DIMENSIONS ARE IN FEET.
3. AREA COMPUTED USING COORDINATE METHOD FROM MEASURED FIELD DATA.
4. BASIS OF BEARINGS IS NORTH CAROLINA GRID NORTH, NAD83(2011). THE SITE WAS LOCALIZED UTILIZING REAL-TIME KINEMATIC (RTK) GLOBAL POSITIONING SYSTEM (GPS) SOLUTIONS REFERENCING THE CONTINUOUSLY OPERATING REFERENCE STATION (CORS) NETWORK BASE STATION NCRD, RALEIGH, NC.
5. SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND MAY BE SUBJECT TO ANY MATTERS THAT A FULL TITLE SEARCH WOULD DISCLOSE.



Add a legend symbol for the wetlands

C-2



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**LEGEND**

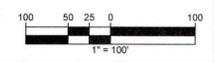
Drawing Title

**MASTER PLAN**

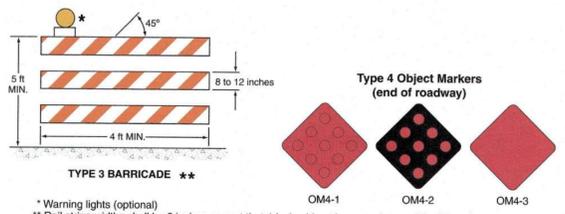
Revisions

Number	Description	Date

JAECO #: 297-02  
 DRAWING SCALE: 1" = 100'  
 DRAWN BY: TT  
 CHECKED BY: JC  
 DATE ISSUED: 03/18/19



**C-3**



- NOTES:**
1. THE STRIPES ON THE TYPE 3 BARRICADE SHOULD BE POSITIONED TO SLOPE DOWNWARD TOWARD THE CENTER OF THE BARRICADE. THE COLORS OF THE STRIPES SHALL BE RETROREFLECTIVE WHITE AND RETROREFLECTIVE RED.
  2. BARRICADE RAILS SHOULD BE SUPPORTED IN A MANNER THAT WILL ALLOW THEM TO BE SEEN BY THE ROAD USER, AND IN A MANNER THAT PROVIDES A STABLE SUPPORT THAT IS NOT EASILY BLOWN OVER OR DISPLACED. SANDBAGS MAY BE PLACED ON THE LOWER PARTS OF THE FRAME OR THE STAYS OF BARRICADES TO PROVIDE THE REQUIRED BALLAST.
  3. A TYPE 4 OBSTRUCTION MARKER IS REQUIRED TO BE A DIAMOND-SHAPED SIGN, AT LEAST 18 INCHES ON A SIDE, CONSISTING OF EITHER A RED (OM4-1) OR BLACK (OM4-2) SIGN WITH NINE RED RETROREFLECTIVE DEVICES, EACH WITH A MINIMUM DIAMETER OF 3 INCHES, MOUNTED SYMMETRICALLY ON THE SIGN, OR AN ALL-RED RETROREFLECTIVE SIGN (OM4-3).

I still feel that there should be some type of barrier here during this phase of construction to limit construction access and potential damage to existing development streets. Also limits the potential for mud and dirt to contaminate the existing roadways.

Show sidewalk to mid-point of cul-de-sac bulb

Add note identifying the responsible parties for maintenance of open space, drainage & access easements, etc.

Is this for open space access, or another purpose (such as for kiosks prior to clubhouse construction)? If this is not for kiosks, where are they??? Show Mail Kiosk location and design.

Provide Signage and Pavement Marking Plans showing all street signs and pavement markings for stop bars and crosswalks.

Provide Lighting plan showing layout of streetlights.

Show sidewalk to mid-point of cul-de-sac bulb

All improvements to Hollybrook Road will require approval by NCDOT.

Show accessible ramps at pedestrian crossings. (Typ.)

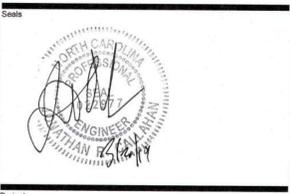
Standard 30" C&G's should extend through the radius and then transition to rolled C&G. Label location of transition.

- GENERAL NOTES:**
1. CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
  2. CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH, TOWN OF WENDELL, AND/OR NCDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
  3. OPEN SPACE SHALL BE DEEDED TO HOME OWNERS ASSOCIATION.
- SIGNAGE KEY NOTES:**
- ALL REFERENCES PER CURRENT FHWA MUTCD
1. PROP. TYPE 3 BARRICADE WITH TYPE 4 OBJECT MARKER(S) (SEE LEFT FOR DETAIL)
  2. PROP. "STOP" SIGN (R1-1) (36"x36")
  3. PROP. 25 M.P.H SPEED LIMIT SIGN (R2-1) (30"x36")

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SS	SANITARY SEWER		INFORMATION
FM	FIRE HYDRANT	NCDOT	NORTH
ELC	ELECTRIC		CAROLINA
TBD	TO BE DETERMINED		DEPARTMENT OF
TBR	TO BE REMOVED		TRANSPORTATION

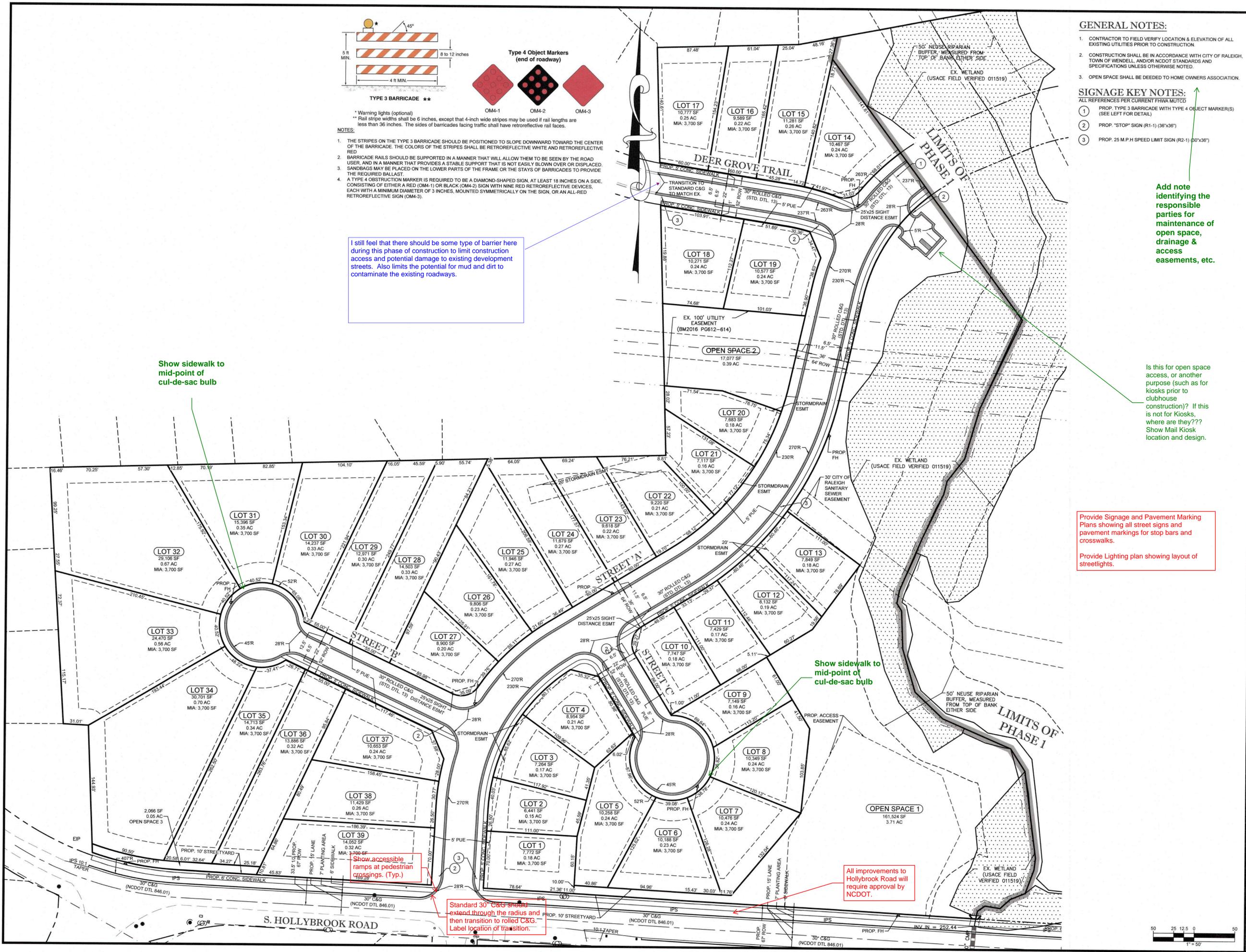
**LEGEND**

**SITE PLAN**

Revisions

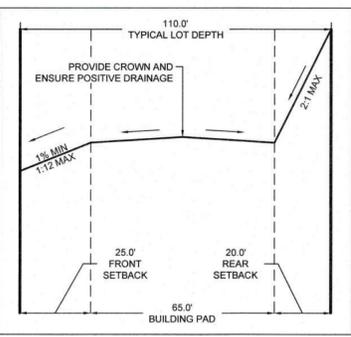
Number	Description	Date

JAECO #: 297-02  
 DRAWING SCALE: 1" = 50'  
 DRAWN BY: TT  
 CHECKED BY: JC  
 DATE ISSUED: 03/19/19 5 of 21

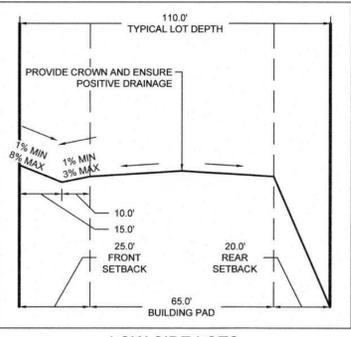


STRUCTURE TABLE						
STRUCTURE	TYPE	STD. DETAIL	RIM	INV. IN	INV. OUT	PIPE OUT
A-2	FES	WENDELL 21	258.33		256.00	51.88LF 24" RCP @ 1.93%
A-4	OUTLET STRUCTURE	OUTLET STRUCTURE	262.00	255.00		
A-5	FES	WENDELL 21	261.92	258.50		
A-10	48" MH	NCDOT 840.52	264.33	259.52	259.42	185.03LF 36" RCP @ 0.50%
A-15	48" MH	NCDOT 840.52	270.53	260.27 260.50	260.17	128.91LF 36" RCP @ 0.50%
A-20	CB	NCDOT 840.02	268.15	260.62 263.17	260.52	48.49LF 36" RCP @ 0.52%
A-22	DI	WENDELL 18	271.00	266.35	266.25	102.37LF 18" RCP @ 3.01%
A-23	DI	WENDELL 18	276.61	271.25	271.25	160.42LF 15" RCP @ 3.05%
A-25	CB	NCDOT 840.02	266.80	261.25	261.15	104.99LF 24" RCP @ 0.50%
A-27	CB	NCDOT 840.02	267.37	261.65 262.13	261.55	59.72LF 24" RCP @ 0.50%
A-28	DI	WENDELL 18	267.00	262.56	262.56	21.50LF 15" RCP @ 2.00%
A-30	CB	NCDOT 840.02	269.21	262.08	261.98	64.85LF 24" RCP @ 0.51%
A-35	CB	NCDOT 840.02	272.49	262.82 268.00	262.72	127.46LF 24" RCP @ 0.50%
A-37	CB	NCDOT 840.02	270.29	263.15 263.52	263.05	44.59LF 24" RCP @ 0.52%
A-40	CB	NCDOT 840.02	270.65	263.94 263.87	263.84	34.44LF 15" RCP @ 2.00%
A-45	CB	NCDOT 840.02	273.63	268.74	265.28	67.14LF 15" RCP @ 2.00%
A-50	CB	NCDOT 840.02	280.68	275.55	275.55	172.88LF 15" RCP @ 3.94%
A-52	CB	NCDOT 840.02	270.15	263.97	263.87	34.79LF 15" RCP @ 1.01%
A-53	CB	NCDOT 840.02	269.85	269.85	264.76	78.84LF 15" RCP @ 1.00%
A-55	CB	NCDOT 840.02	270.70	265.14	265.14	63.32LF 15" RCP @ 2.01%
A-60	CB	NCDOT 840.02	274.22	268.90	268.90	43.93LF 15" RCP @ 2.05%
A-65	48" MH	NCDOT 840.52	275.52	269.99 270.58	269.84	204.57LF 18" RCP @ 4.47%
A-70	CB	NCDOT 840.02	277.79	270.69	270.59	59.62LF 18" RCP @ 1.01%
A-75	CB	NCDOT 840.02	280.58	271.98 275.60	271.88	118.28LF 15" RCP @ 1.01%
A-80	CB	NCDOT 840.02	279.09	273.92	273.82	183.87LF 15" RCP @ 1.00%
A-85	CB	NCDOT 840.02	279.41	274.33	274.33	41.00LF 15" RCP @ 1.00%
A-90	CB	NCDOT 840.02	276.65	271.05	270.95	36.23LF 15" RCP @ 1.02%
A-95	CB	NCDOT 840.02	276.65	271.42	271.32	27.00LF 15" RCP @ 1.00%
A-97	CB	NCDOT 840.02	277.30	272.28	272.28	43.01LF 15" RCP @ 2.00%
A-100	CB	NCDOT 840.02	283.92	278.30	278.20	71.06LF 15" RCP @ 3.66%
A-105	CB	NCDOT 840.02	283.92	278.84	278.84	27.00LF 15" RCP @ 2.00%

TYPICAL LOT GRADING



HIGH-SIDE LOTS  
N.T.S.



LOW-SIDE LOTS  
N.T.S.

Grading on Street A needs to be revised. Typical section shows the road being crowned (which is appropriate) but contours do not reflect this.

GENERAL NOTES:

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THE MEADOWS AT HOLLYBROOK

SMITH-EDWARDS, LLC  
2643A WENDELL ROAD  
WENDELL, NC 27591

ABBREVIATIONS

EX	EXISTING	TBRL	TO BE RELOCATED
PROP	PROPOSED	FP	FLOOD PLAN
APPROX	APPROXIMATE	FEMA	FEDERAL
LOC	LOCATION		EMERGENCY
DB	BOOK OF MAPS		MANAGEMENT
DB	DEED BOOK	AGENCY	AGENCY
PG	PAGE	ESMT	EASEMENT
NIP	NOW OR FORMERLY	TYP	TYPICAL
ROW	RIGHT OF WAY	SWM	STORMWATER
EIP	EX IRON PIPE		MANAGEMENT
EMAG	EX MAG NAIL	SF	SQUARE FEET
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	MONUMENT	LF	LINEAR FEET
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IPS	IRON PIPE SET		DEVELOPMENT
EOP	EDGE OF PAVEMENT	GIS	ORDINANCE
			GEOGRAPHIC
SS	SANITARY SEWER		INFORMATION
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FH	FIRE HYDRANT	NCDOT	NORTH CAROLINA
ELEC	ELECTRIC		DEPARTMENT OF
TBD	TO BE DETERMINED		TRANSPORTATION
TBR	TO BE REMOVED		

LEGEND

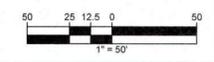
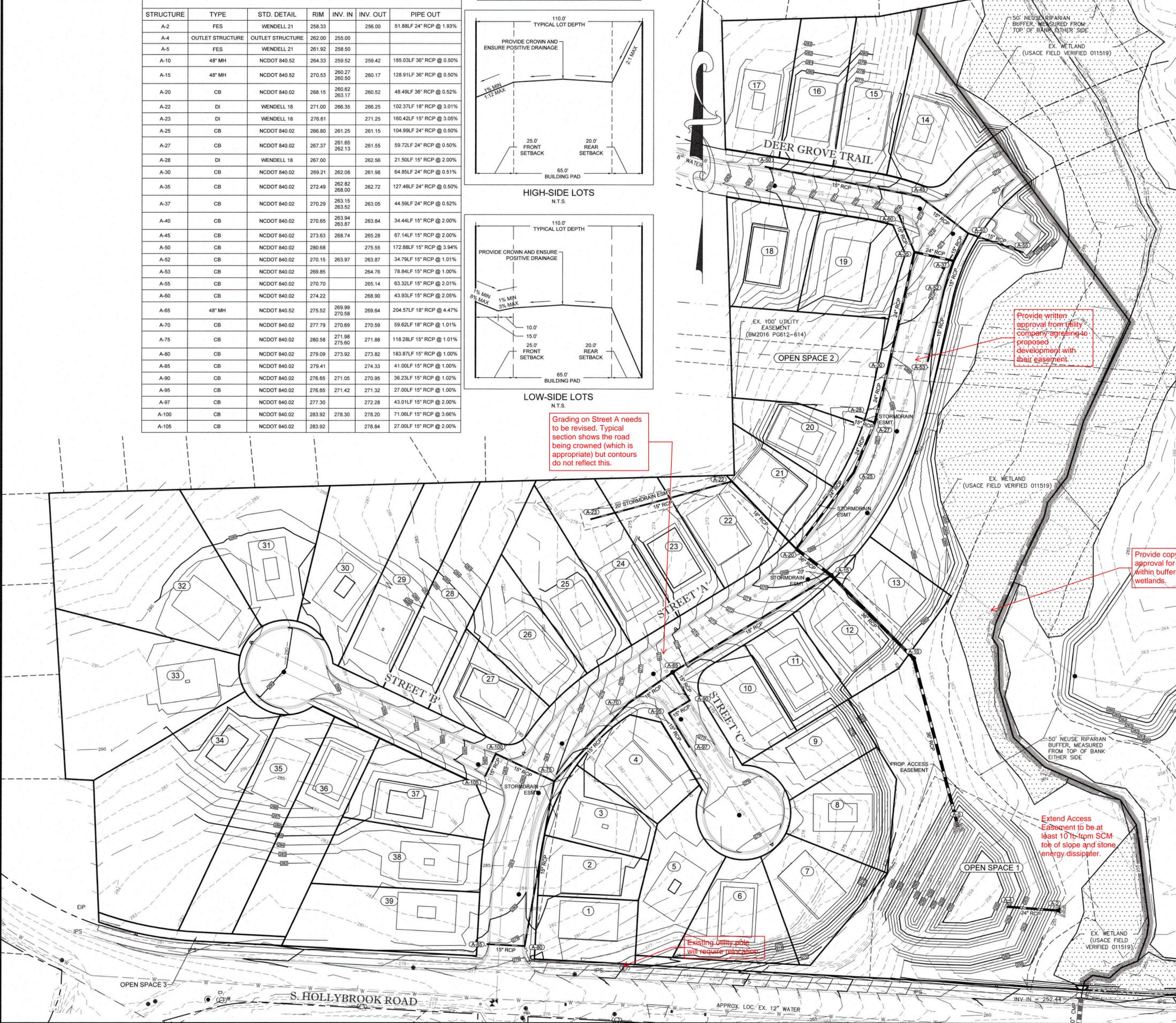
STORMDRAIN AND GRADING PLAN

Revisions

Number	Description	Date

JAECO #: 297-02  
DRAWING SCALE: 1" = 50'  
DRAWN BY: TT  
CHECKED BY: JC  
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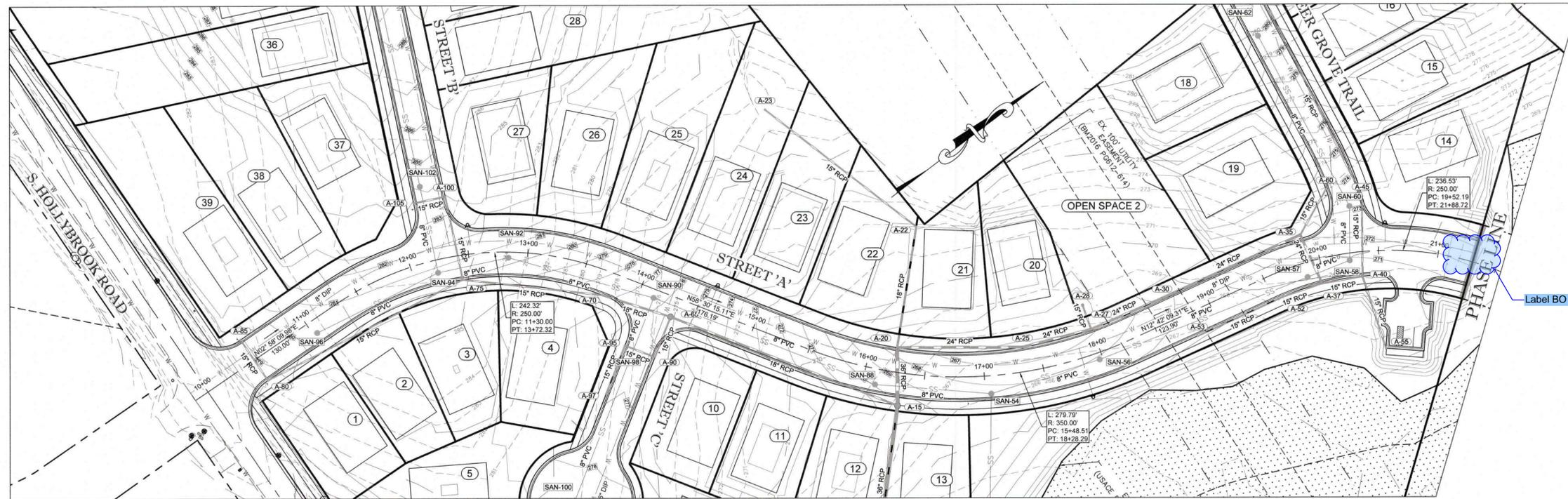
**C-5**  
6 of 21





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Street 'A' (Residential Main) Plan  
SCALE: 1" = 50'

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Project  
**THE MEADOWS AT HOLLYBROOK**

Client  
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EOP	EDGE OF	ORDN	ORDINANCE
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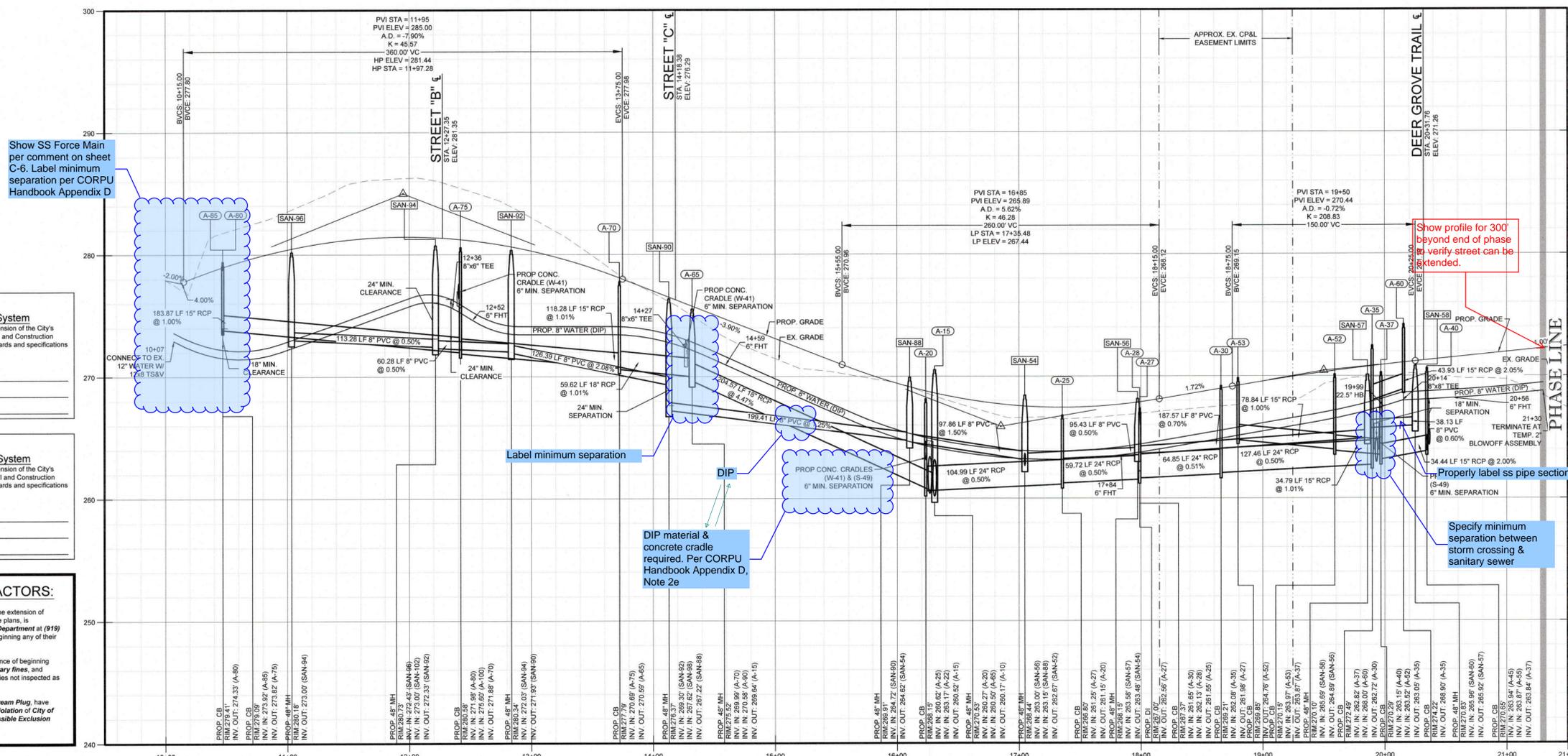
**LEGEND**

**ROAD PROFILES**

Revisions

Number	Description	Date

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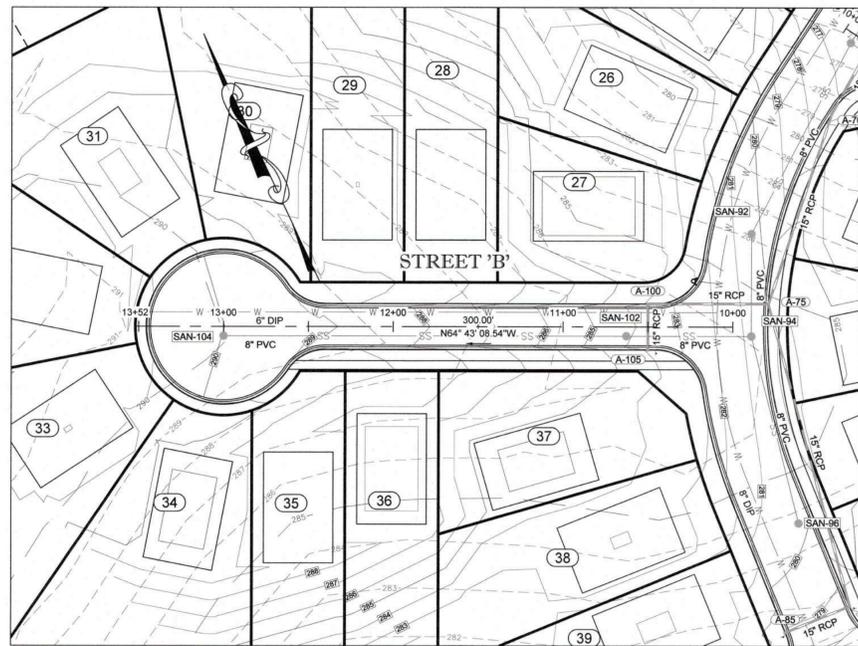


Street 'A' (Residential Main) Profile  
HORIZONTAL SCALE: 1" = 50'  
VERTICAL SCALE: 1" = 5'

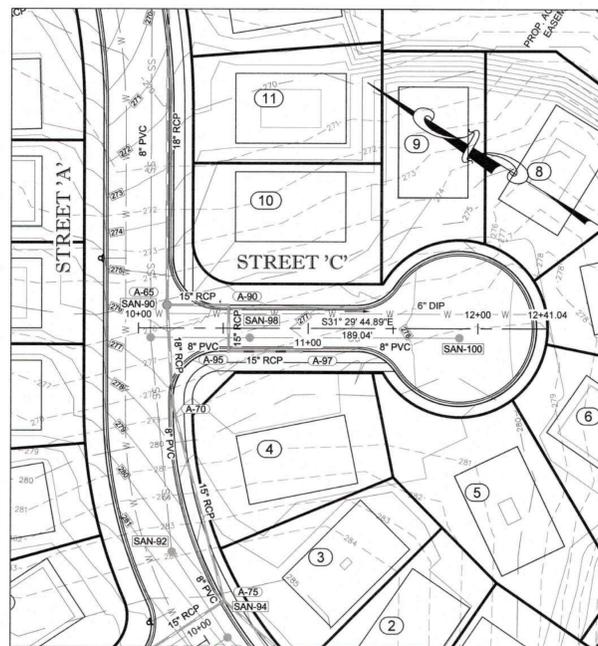
**Public Water Collection/Extension System**  
The City of Raleigh consents to the connection and extension of the City's public water system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.  
City of Raleigh  
Public Utilities Department Permit #  
Authorization to Construct  
Date

**Public Sewer Collection/Extension System**  
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City of Raleigh  
Public Utilities Department Permit #  
Authorization to Construct  
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**ATTENTION CONTRACTORS:**  
The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Utilities Department at (919) 996-5540 at least twenty four hours prior to beginning any of their construction.  
Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.  
Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.



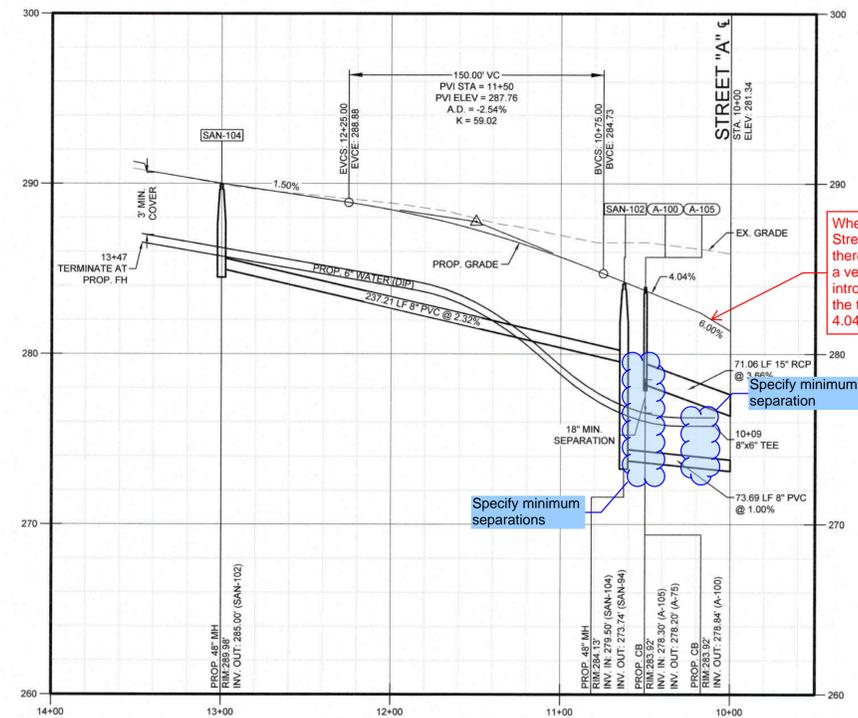
Street 'B' (Local Street) Plan  
SCALE: 1" = 50'



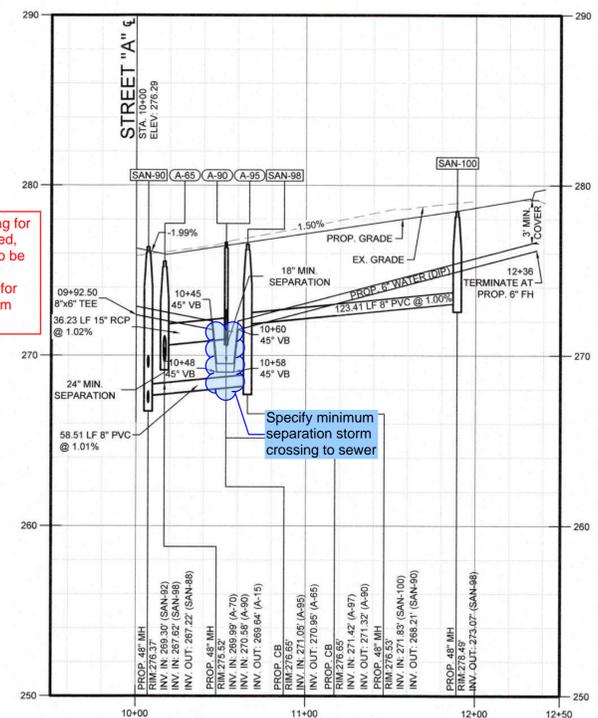
Street 'C' (Local Street) Plan  
SCALE: 1" = 50'



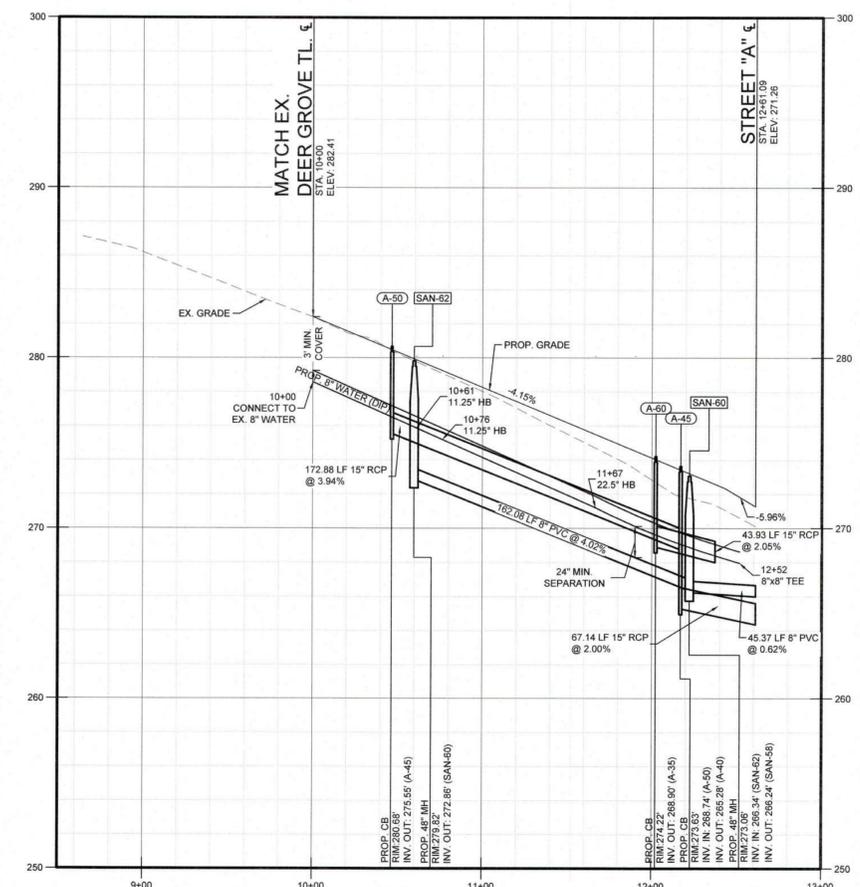
Deer Grove Trail Plan  
SCALE: 1" = 50'



Street 'B' (Local Street) Profile  
HORIZONTAL SCALE: 1" = 50'  
VERTICAL SCALE: 1" = 5'



Street 'C' (Local Street) Profile  
HORIZONTAL SCALE: 1" = 50'  
VERTICAL SCALE: 1" = 5'



Deer Grove Trail Profile  
HORIZONTAL SCALE: 1" = 50'  
VERTICAL SCALE: 1" = 5'

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City of Raleigh  
Public Utilities Department Permit # \_\_\_\_\_  
Authorization to Construct \_\_\_\_\_  
Date \_\_\_\_\_

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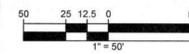
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Project

**THE MEADOWS AT HOLLYBROOK**

Client

SMITH-EDWARDS, LLC  
2643A WENDELL ROAD  
WENDELL, NC 27591

**ABBREVIATIONS**

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EOP	EDGE OF PAVEMENT	ORDINANCE	ORDINANCE
SS	SANITARY SEWER	GIS	GEOGRAPHIC
FM	FORCE MAIN	SYSTEM	SYSTEM
FH	FIRE HYDRANT	NORTH	NORTH
ELEC	ELECTRIC	NCDOT	CAROLINA
TBD	TO BE DETERMINED	DEPARTMENT OF	DEPARTMENT OF
TBR	TO BE REMOVED	TRANSPORTATION	TRANSPORTATION

**LEGEND**

**ROAD PROFILES**

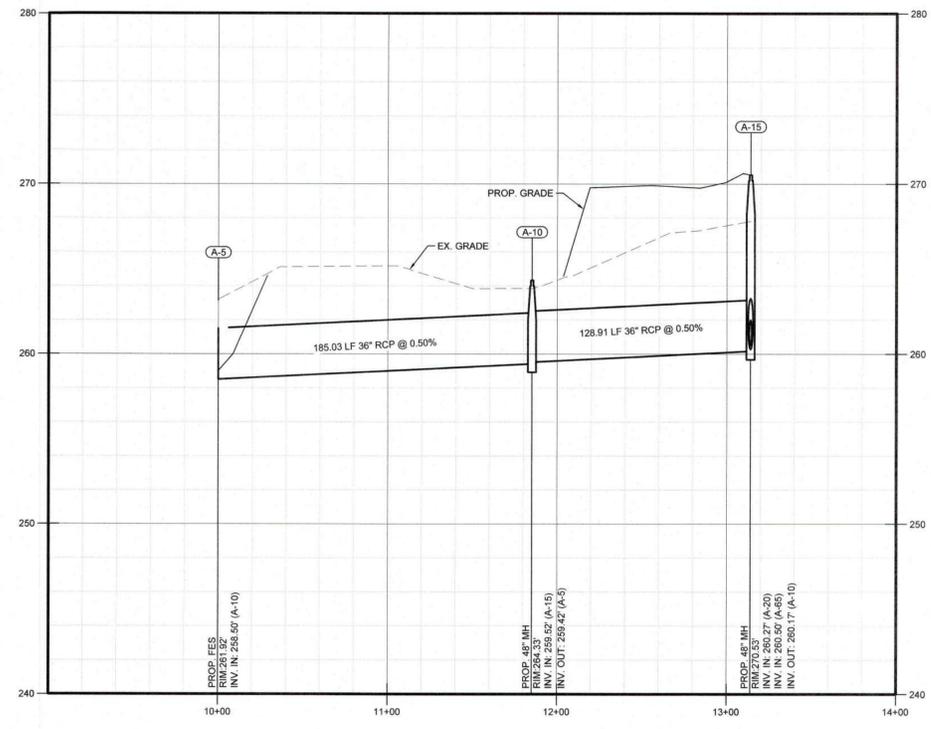
Revisions

Number	Description	Date

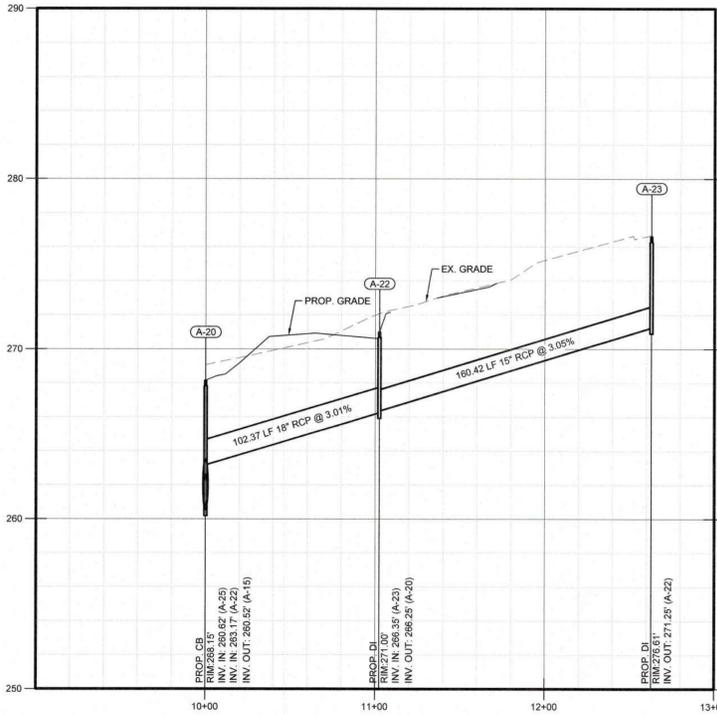
JAECO #: 297-02  
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C-8

Add profile for pipe from A40 to A55.

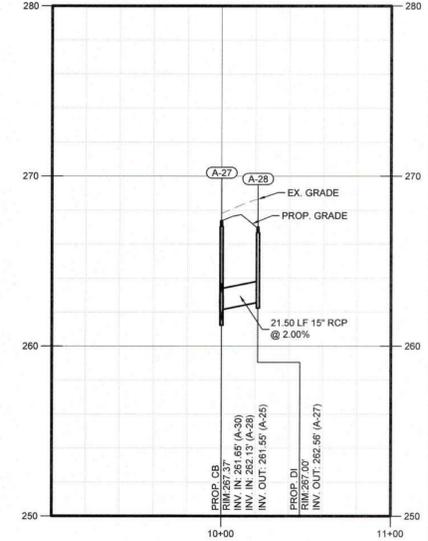


**Outfall #1 Profile**  
HORIZONTAL SCALE: 1" = 50'  
VERTICAL SCALE: 1" = 5'



**Outfall #2 Profile**  
HORIZONTAL SCALE: 1" = 50'  
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**Outfall #3 Profile**  
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VERTICAL SCALE: 1" = 5'



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Project  
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Client  
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WENDELL, NC 27591

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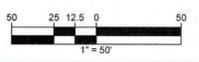
**LEGEND**

**STORMDRAIN OUTFALLS**

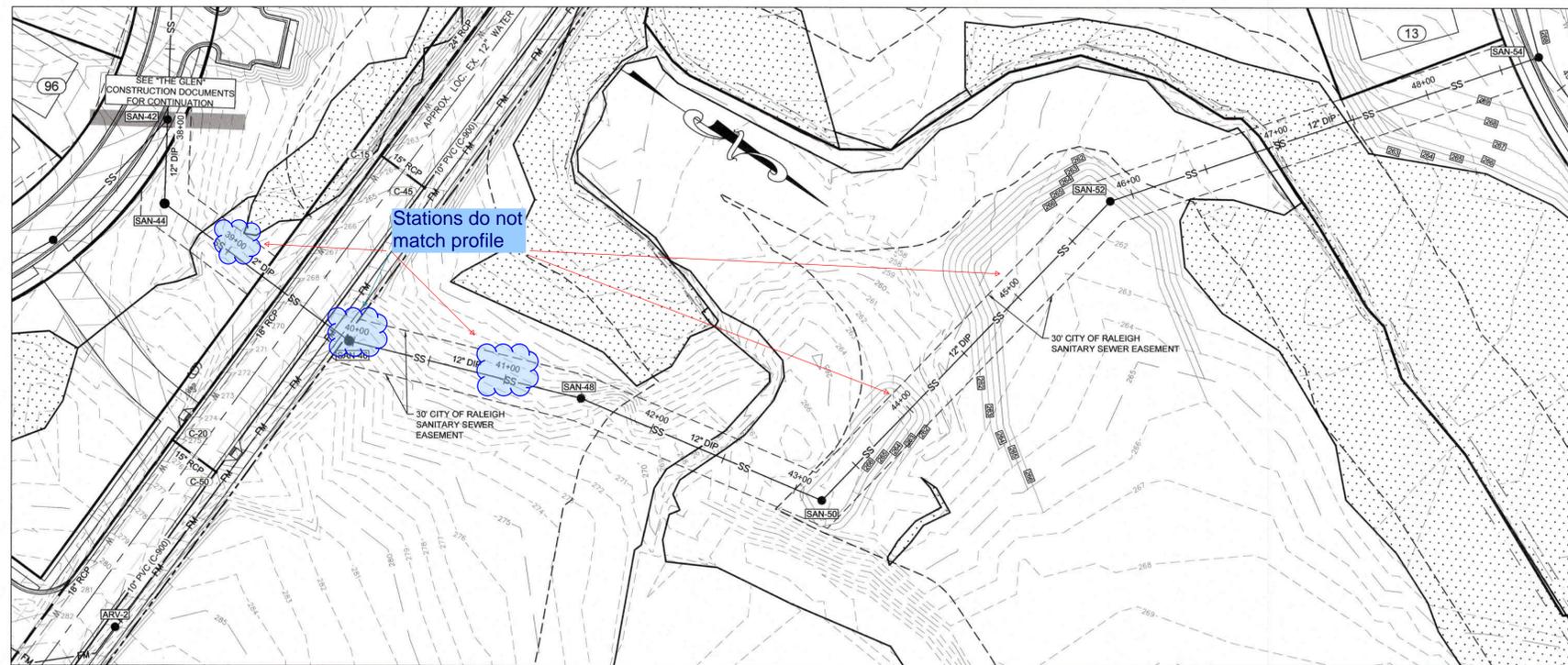
Revisions

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**C-9**



Sanitary Outfall B Plan  
SCALE: 1" = 50'

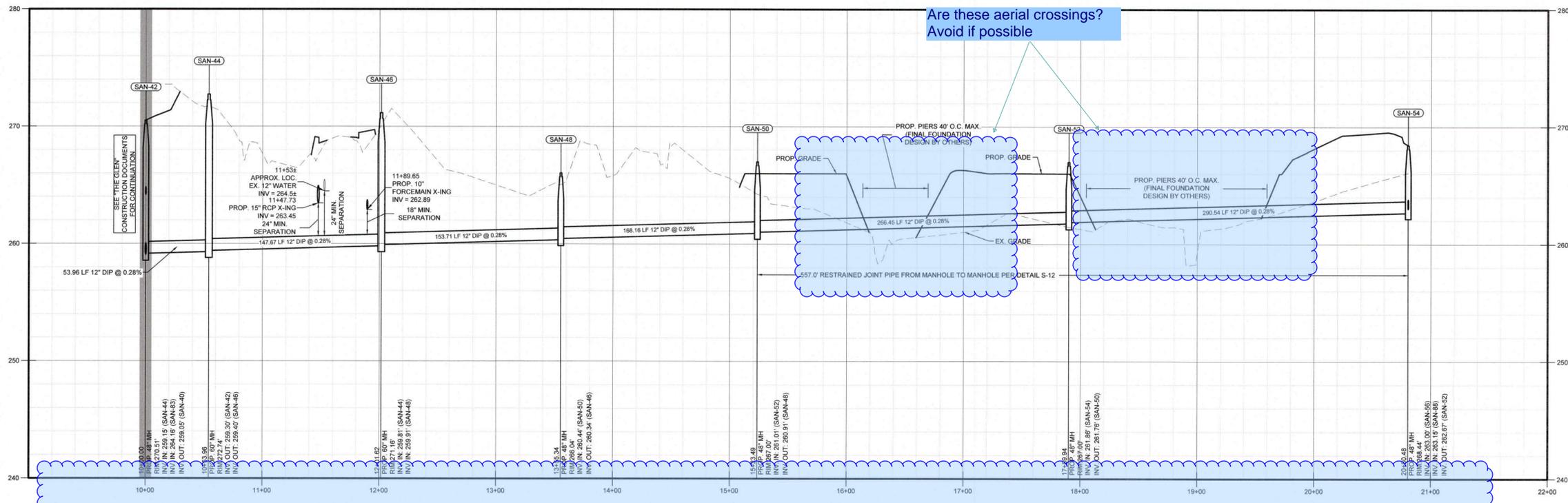
**STANDARD UTILITY NOTES (as applicable):**

- All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition)
- Utility separation requirements:
  - A distance of 10' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, ferrous sanitary sewer pipe shall be specified & installed to watertight specifications. However, the minimum separation shall not be less than 25' from a private well or 50' from a public well
  - When installing water &/or sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the variation allowed is the water main in a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter
  - Where it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DIP materials or steel encasement must be extended 10' on each side of crossing must be specified & installed to watertight specifications
  - 5.0' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer
  - Maintain 18" min. vertical separation at all watermain & RCP storm drain crossings; maintain 24" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DIP materials & a concrete cradle having 6" min. clearance (per CORPUD details W-41 & S-49)
  - All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required
  - Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24 hour advance notice to the City of Raleigh Public Utilities Department
  - 3.0' minimum cover is required on all water mains & sewer force mains. 4.0' minimum cover is required on all reuse mains
  - It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning tap at main & removal of service from ROW or easement per CORPUD Handbook procedure
  - Install 1/2" copper water services with meters located at ROW or within a 2'x2' Waterline Easement immediately adjacent. **NOTE:** it is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure
  - Install 4" PVC sewer services @ 1.0% minimum grade with cleanouts located at ROW or easement line & spaced every 75 linear feet maximum
  - Pressure reducing valves are required on all water services exceeding 80 psi; backwater valves are required on all sanitary sewer services having building drains lower than 1.0' above the next upstream manhole
  - All environmental permits applicable to the project must be obtained from NCDM, USACE &/or FEMA for any riparian buffer, wetland &/or floodplain impacts (respectively) prior to construction.
  - NCDOT / Railroad Encroachment Agreements are required for any utility work (including main extensions & service taps) within state or railroad ROW prior to construction
  - Grassie Interceptor / Oil Water Separator sizing calculations & installation specifications shall be approved by the CORPUD FOG Program Coordinator prior to issuance of a Building Permit. Contact Tim Beasley at (919) 996-2334 or timothy.beasley@raleighnc.gov for more information
  - Cross-connection control protection devices are required based on degree of health hazard involved as listed in Appendix-B of the Rules Governing Public Water Systems in North Carolina.

These guidelines are the minimum requirements. The devices shall meet American Society of Sanitary Engineering (ASSE) standards or be on the University of Southern California approval list. The devices shall be installed and tested (both initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross-connection control program, whichever is more stringent. Contact Joanie Hartley at (919) 996-5923 or joanie.hartley@raleighnc.gov for more information.

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- 12" GRAVITY SEWER MAIN SHALL BE OF DUCTILE IRON PIPE AND FITTINGS AND BE MANUFACTURED IN ACCORDANCE WITH AWWA STANDARDS C-150 AND C-110 RESPECTIVELY. THE MINIMUM PRESSURE CLASS PIPE SHALL BE CLASS 250.



Sanitary Outfall B  
HORIZONTAL SCALE: 1" = 50'  
VERTICAL SCALE: 1" = 5'

Stations do not match with plan view. Correct

Are these aerial crossings? Avoid if possible

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NF	NOW OR FORMERLY	TYP	TYPICAL
ROW	RIGHT OF WAY	SWM	STORMWATER
EIP	EX IRON PIPE		MANAGEMENT
EMAG	EX MAG NAIL	SF	SQUARE FEET
ECM	EX CONCRETE	AC	ACRE
MON	MONUMENT	LF	LINEAR FEET
EIR	EX IRON ROD	UD	UNIFIED
IPS	IRON PIPE SET		DEVELOPMENT
EOP	EDGE OF PAVEMENT	GIS	ORDINANCE
SS	SANITARY SEWER		GEOGRAPHIC
FM	FORCE MAIN		INFORMATION
FH	FIRE HYDRANT	NCDOT	SYSTEM
ELEC	ELECTRIC		NORTH CAROLINA
TBD	TO BE DETERMINED		DEPARTMENT OF
TBR	TO BE REMOVED		TRANSPORTATION

**LEGEND**

**Public Water Collection/Extension System**

The City of Raleigh consents to the connection and extension of the City's public water system as shown on this plan. The material and Construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh  
Public Utilities Department Permit # \_\_\_\_\_  
Authorization to Construct \_\_\_\_\_  
Date \_\_\_\_\_

**Public Sewer Collection/Extension System**

The City of Raleigh consents to the connection and extension of the City's public sewer system as shown on this plan. The material and Construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh  
Public Utilities Department Permit # \_\_\_\_\_  
Authorization to Construct \_\_\_\_\_  
Date \_\_\_\_\_

**ATTENTION CONTRACTORS:**

The **Construction Contractor** responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the **Public Utilities Department** at (919) 996-4540 at least **twenty four hours** prior to beginning any of their construction.

**Failure** to notify both **City Departments** in advance of beginning construction, will result in the issuance of **monetary fines**, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

**Failure** to call for **Inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards** will result in a **Fine and Possible Exclusion** from future work in the **City of Raleigh**.

Drawing Title

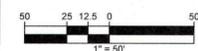
**SANITARY OUTFALL**

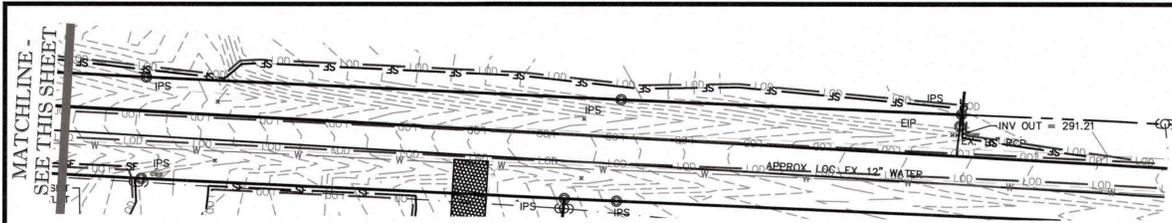
Revisions

Number	Description	Date

JAECO #: 297-02  
DRAWING SCALE: 1" = 50'  
DRAWN BY: TT  
CHECKED BY: JC  
DATE ISSUED: 03/18/19

**C-10**  
11 of 21



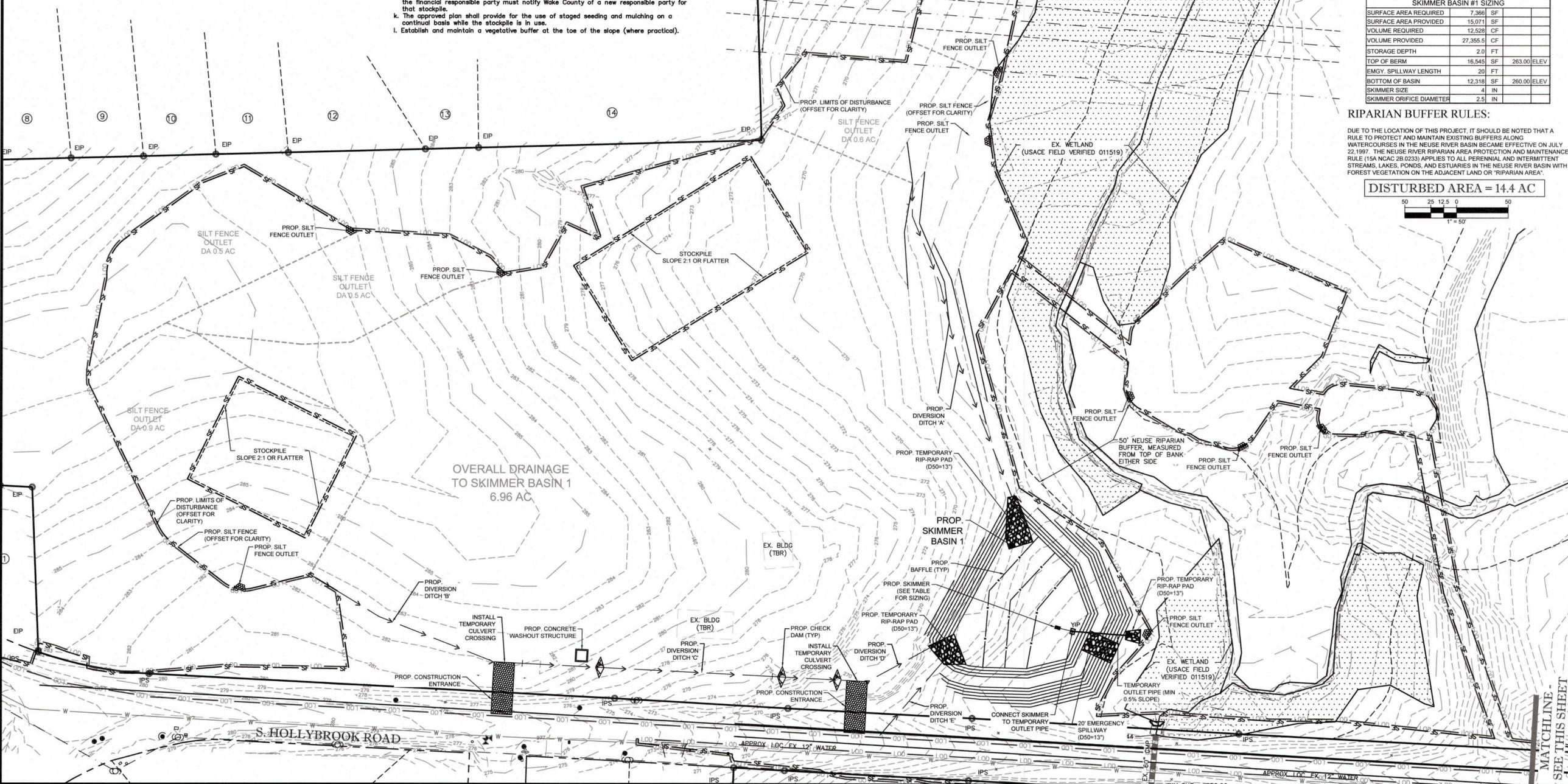


NEW STABILIZATION TIMEFRAMES (EFFECTIVE AUG 3, 2011)		
SITE AREA DESCRIPTION	STABILIZATION	TIMEFRAME EXCEPTIONS
PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES	7 DAYS	NONE
HIGH QUALITY WATER (HQW) ZONES	7 DAYS	NONE
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE LESS THAN 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED
SLOPES 3:1 OR FLATTER	14 DAYS	7 DAYS FOR SLOPES GREATER THAN 50' IN LENGTH
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE, EXCEPT FOR PERIMETERS AND HQW ZONES

**STOCKPILE NOTES:**

- Soil stockpiles shall be located on the approved plan and shall adhere to the following requirements:
- Design Criteria:**
- A 25-foot temporary maintenance and access easement shall be shown around all proposed stockpiles (erosion control measures surrounding the stockpile shall be shown at the outer limit of this easement).
  - Stockpile footprints shall be setback a minimum of 25' from adjacent property lines.
  - A note shall be provided on the approved plan that stockpile height shall not exceed 35 feet.
  - Stockpile slopes shall be 2:1 or flatter.
  - Approved BMPs shall be shown on a plan to control any potential sediment loss from a stockpile.
  - Stockpiling materials adjacent to a ditch, drainage way, watercourse, wetland, stream buffer, or other body of water shall be avoided unless an alternative location is demonstrated to be unavailable.
  - Any concentrated flow likely to affect the stockpile shall be diverted to an approved BMP.
  - Off-site spoil or borrow areas must be in compliance with Wake County UDO and State Regulations. All spoil areas over an acre are required to have an approved sediment control plan. Developer/Contractor shall notify Wake County of any offsite disposal of soil, prior to disposal. Fill of FEMA Floodways and Non-encroachment Areas are prohibited except as otherwise provided by subsection 14-19-2 of the Wake County Unified Development Ordinance (certifications and permits required).
- Maintenance Requirements:**
- Seeding and covering stockpiles with tarps or mulch is required and will reduce erosion problems. Tarps should be keyed in at the top of the slope to keep water from running underneath the plastic.
  - If a stockpile is to remain for future use after the project is complete (builders, etc.), the financial responsible party must notify Wake County of a new responsible party for that stockpile.
  - The approved plan shall provide for the use of staged seeding and mulching on a continual basis while the stockpile is in use.
  - Establish and maintain a vegetative buffer at the toe of the slope (where practical).

Erosion and Sediment Control and Stormwater Management Plans have been submitted to Wake County for review. Review comments to be provided directly to the applicant and engineer.



**PHASE 1 CONSTRUCTION SEQUENCE:**

- SCHEDULE A PRE-CONSTRUCTION CONFERENCE WITH THE WATERSHED MANAGER, DEBRA TANNER - (919) 842-7142. OBTAIN A LAND-DISTURBING PERMIT.
- INSTALL CONSTRUCTION ENTRANCES, SILT FENCE, SILT FENCE OUTLETS, TEMPORARY DIVERSION DITCHES, ROCK CHECK DAMS, TEMPORARY SKIMMER BASINS 1, 2, & 3 AS OUTLINED IN STEPS 3-5 BELOW CONCRETE WASHOUT STRUCTURE AND OTHER MEASURES AS SHOWN ON THE APPROVED PLAN. CLEAR ONLY AS NECESSARY TO INSTALL THESE DEVICES. SEED TEMPORARY DIVERSIONS AND BASINS IMMEDIATELY AFTER CONSTRUCTION.
- MAY BE PERFORMED CONCURRENTLY WITH STEPS 4 & 5) INSTALL SEDIMENT BASIN 1 INCLUDING TEMPORARY OUTLET PIPE. SEED IMMEDIATELY AFTER CONSTRUCTION. INSTALL OUTLET SKIMMER FOR BASIN 1 AND TIE TO TEMPORARY PIPE. PROVIDE STONE PAD BELOW THE SKIMMER AND ATTACH A TETHER TO THE SKIMMER ITSELF.
- MAY BE PERFORMED CONCURRENTLY WITH STEPS 3 & 4) INSTALL SEDIMENT BASIN 2 INCLUDING TEMPORARY OUTLET PIPE. SEED IMMEDIATELY AFTER CONSTRUCTION. INSTALL OUTLET SKIMMER FOR SEDIMENT BASIN 2 AND TIE TO TEMPORARY PIPE. PROVIDE STONE PAD BELOW THE SKIMMER AND ATTACH A TETHER TO THE SKIMMER ITSELF.
- MAY BE PERFORMED CONCURRENTLY WITH STEPS 3 & 4) INSTALL SEDIMENT BASIN 3 INCLUDING TEMPORARY OUTLET PIPE. SEED IMMEDIATELY AFTER CONSTRUCTION. INSTALL OUTLET SKIMMER FOR SEDIMENT BASIN 3 AND TIE TO TEMPORARY PIPE. PROVIDE STONE PAD BELOW THE SKIMMER AND ATTACH A TETHER TO THE SKIMMER ITSELF.
- MAY BE PERFORMED AT ANY TIME THROUGHOUT CONSTRUCTION) SEED TEMPORARY DIVERSIONS, BASINS AND BERMS IMMEDIATELY AFTER CONSTRUCTION.
- CALL DEBRA TURNER AT (919) 842-7142 FOR AN ONSITE INSPECTION BY THE WATERSHED MANAGER TO OBTAIN A CERTIFICATE OF COMPLIANCE.
- BEGIN CLEARING AND GRUBBING WITHIN THE LIMITS OF DISTURBANCE AND INSTALL DIVERSION DITCHES WITH ROCK CHECK DAMS AS SHOWN. MAINTAIN POSITIVE DRAINAGE WITHIN DIVERSION DITCHES AND OUTLET TO RESPECTIVE BASINS. COMPLETE ROUGH GRADING NEAR BASINS 1 AND 2 TO ALLOW FOR POSITIVE DRAINAGE. INSTALL TEMPORARY CULVERT CROSSING NEAR CONSTRUCTION ENTRANCE TO NORTH SIDE OF PROPERTY TO ALLOW FOR CONSTRUCTION EQUIPMENT ACCESS.
- MAINTAIN SEDIMENT AND EROSION CONTROL DEVICES AFTER EVERY RAIN EVENT AND ONCE PER WEEK. REMOVE ANY SILT BUILDUP ON ANY SILT FENCING AS NEEDED TO PREVENT BREACH. SEED OR MULCH (OR STABILIZE WITH STONE/PAVEMENT) ANY DENuded AREAS WITHIN 14 CALENDAR DAYS OF TEMPORARY OR PERMANENTLY SUSPENDING LAND DISTURBING ACTIVITY.
- AS SITE IS BROUGHT TO ROUGH GRADE, TRANSITION TO EROSION CONTROL PHASE 2.

SKIMMER BASIN #1 SIZING	
SURFACE AREA REQUIRED	7,369 SF
SURFACE AREA PROVIDED	15,071 SF
VOLUME REQUIRED	12,528 CF
VOLUME PROVIDED	27,355.5 CF
STORAGE DEPTH	2.0 FT
TOP OF BERM	16.545 SF 263.00 ELEV
EMGY. SPILLWAY LENGTH	20 FT
BOTTOM OF BASIN	12.318 SF 260.00 ELEV
SKIMMER SIZE	4 IN
SKIMMER ORIFICE DIAMETER	2.5 IN

**RIPARIAN BUFFER RULES:**

DUE TO THE LOCATION OF THIS PROJECT, IT SHOULD BE NOTED THAT A RULE TO PROTECT AND MAINTAIN EXISTING BUFFERS ALONG WATERCOURSES IN THE NEUSE RIVER BASIN BECAME EFFECTIVE ON JULY 22, 1997. THE NEUSE RIVER RIPARIAN AREA PROTECTION AND MAINTENANCE RULE (15A NCAC 2B.0233) APPLIES TO ALL PERENNIAL AND INTERMITTENT STREAMS, LAKES, PONDS, AND ESTUARIES IN THE NEUSE RIVER BASIN WITH FOREST VEGETATION ON THE ADJACENT LAND OR "RIPARIAN AREA".

**DISTURBED AREA = 14.4 AC**



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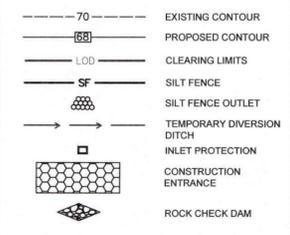
**THE MEADOWS AT HOLLYBROOK**

**SMITH-EDWARDS, LLC**  
2643A WENDELL ROAD  
WENDELL, NC 27591

**ABBREVIATIONS**

EX	EXISTING	TBR	TO BE RELOCATED
PROP	PROPOSED	FP	FLOOD PLAIN
APPROX	APPROXIMATE	FEMA	FEDERAL EMERGENCY MANAGEMENT AGENCY EASEMENT
LOC	LOCATION	ESMT	ESMT
BM	BOOK OF MAPS	TYP	TYPICAL
DB	DEED BOOK	SWM	STORMWATER MANAGEMENT
PG	PAGE	SF	SQUARE FEET
N/F	NOW OR FORMERLY	AC	ACRE
ROW	RIGHT OF WAY	LF	LINEAR FEET
EIP	EX IRON PIPE	UDO	UNIFIED DEVELOPMENT ORDINANCE
EMAG	EX MAG NAIL	GIS	GEOGRAPHIC INFORMATION SYSTEM
ECM	EX CONCRETE	NCDOT	NORTH CAROLINA DEPARTMENT OF TRANSPORTATION
EIR	EX IRON ROD		
IPS	IRON PIPE SET		
EOP	EDGE OF PAVEMENT		
SS	SANITARY SEWER		
FM	FORCE MAIN		
FH	FIRE HYDRANT		
ELEC	ELECTRIC		
TBD	TO BE DETERMINED		
TBR	TO BE REMOVED		

**LEGEND**

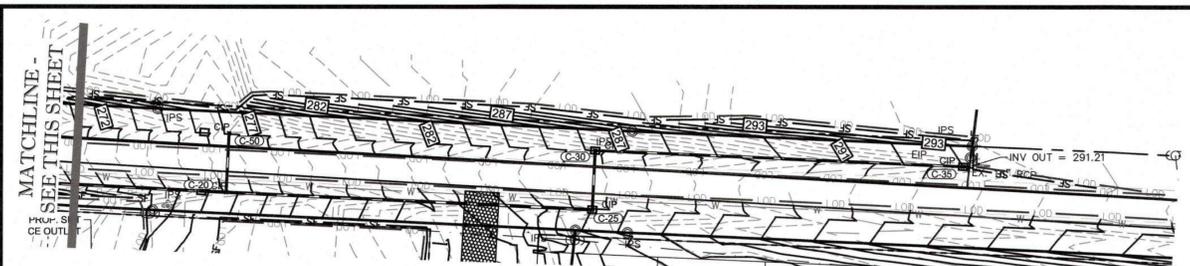


**EROSION CONTROL PLAN - PHASE 1**

Revisions		
Number	Description	Date

JAECO #: 297-02  
DRAWING SCALE: 1" = 50'  
DRAWN BY: TT  
CHECKED BY: JC  
DATE ISSUED: 03/18/19

**C-11**



**NEW STABILIZATION TIMEFRAMES (EFFECTIVE AUG 3, 2011)**

SITE AREA DESCRIPTION	STABILIZATION	TIMEFRAME EXCEPTIONS
PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES	7 DAYS	NONE
HIGH QUALITY WATER (HQW) ZONES	7 DAYS	NONE
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE LESS THAN 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED
SLOPES 3:1 OR FLATTER	14 DAYS	7 DAYS FOR SLOPES GREATER THAN 50' IN LENGTH
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE, EXCEPT FOR PERIMETERS AND HQW ZONES

**STOCKPILE NOTES:**

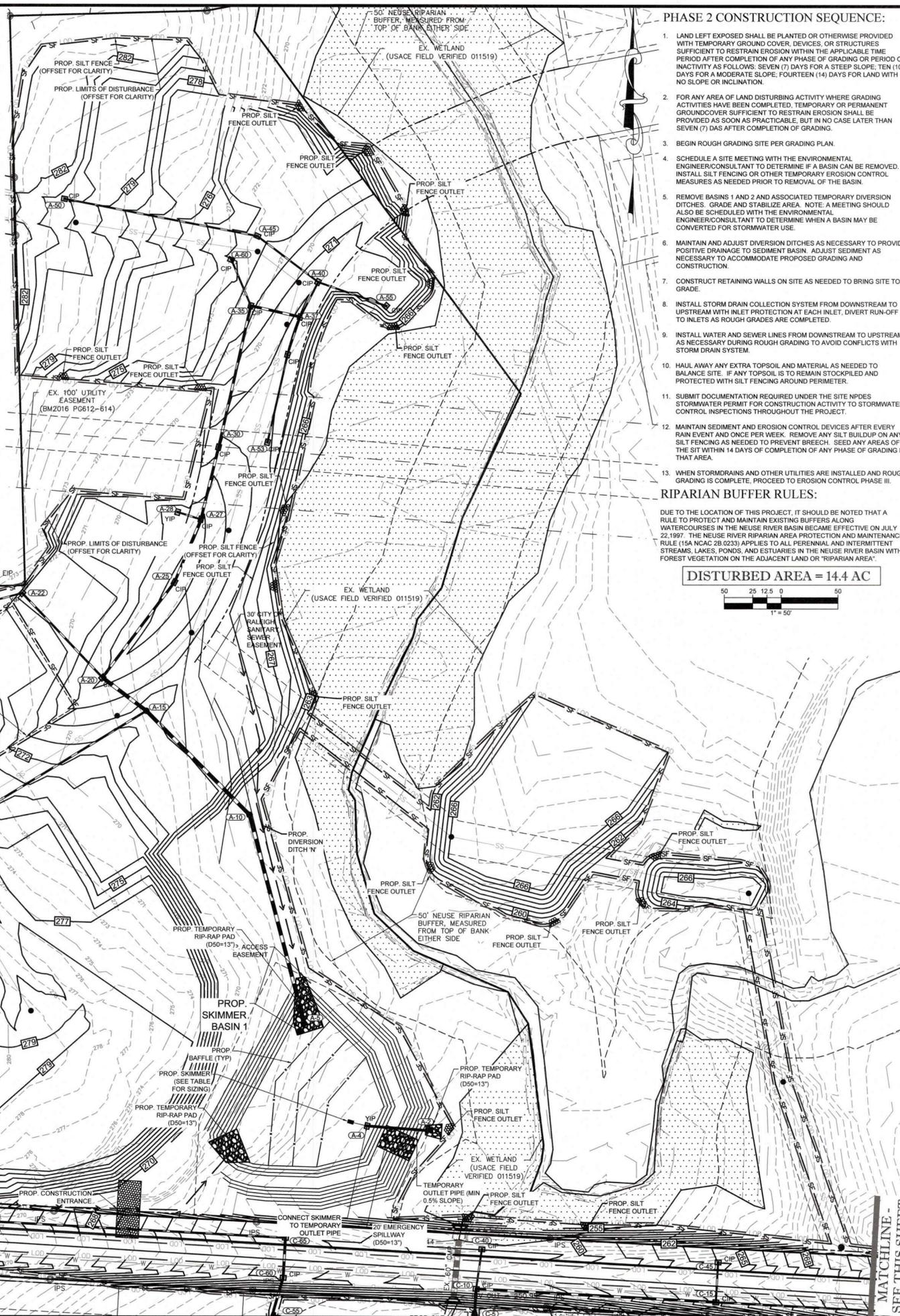
Soil stockpiles shall be located on the approved plan and shall adhere to the following requirements:

Design Criteria:

- A 25-foot temporary maintenance and access easement shall be shown around all proposed stockpiles (erosion control measures surrounding the stockpile shall be shown at the outer limit of this easement).
- Stockpile footprints shall be setback a minimum of 25' from adjacent property lines.
- A note shall be provided on the approved plan that stockpile height shall not exceed 35 feet.
- Stockpile slopes shall be 2:1 or flatter.
- Approved BMP's shall be shown on a plan to control any potential sediment loss from a stockpile.
- Stockpiling materials adjacent to a ditch, drainage way, watercourse, wetland, stream buffer, or other body of water shall be avoided unless an alternative location is demonstrated to be unavoidable.
- Any concentrated flow likely to affect the stockpile shall be diverted to an approved BMP.
- Off-site spoil or borrow areas must be in compliance with Wake County UDO and State Regulations. All spoil areas over an acre are required to have an approved sediment control plan. Developer/Contractor shall notify Wake County of any offsite disposal of soil, prior to disposal. Fill of FEMA Floodways and Non-encroachment Areas are prohibited except as otherwise provided by subsection 14-19-2 of the Wake County Unified Development Ordinance (certifications and permits required).

Maintenance Requirements:

- Seeding or covering stockpiles with tarps or mulch is required and will reduce erosion problems. Tarps should be keyed in at the top of the slope to keep water from running underneath the plastic.
- If a stockpile is to remain for future use after the project is complete (builders, etc.), the financial responsible party must notify Wake County of a new responsible party for that stockpile.
- The approved plan shall provide for the use of staged seeding and mulching on a continual basis while the stockpile is in use.
- Establish and maintain a vegetative buffer at the toe of the slope (where practical).



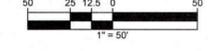
**PHASE 2 CONSTRUCTION SEQUENCE:**

- LAND LEFT EXPOSED SHALL BE PLANTED OR OTHERWISE PROVIDED WITH TEMPORARY GROUND COVER, DEVICES, OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION WITHIN THE APPLICABLE TIME PERIOD AFTER COMPLETION OF ANY PHASE OF GRADING OR PERIOD OF INACTIVITY AS FOLLOWS: SEVEN (7) DAYS FOR A STEEP SLOPE; TEN (10) DAYS FOR A MODERATE SLOPE; FOURTEEN (14) DAYS FOR LAND WITH NO SLOPE OR INCLINATION.
- FOR ANY AREA OF LAND DISTURBING ACTIVITY WHERE GRADING ACTIVITIES HAVE BEEN COMPLETED, TEMPORARY OR PERMANENT GROUND COVER SUFFICIENT TO RESTRAIN EROSION SHALL BE PROVIDED AS SOON AS PRACTICABLE, BUT IN NO CASE LATER THAN SEVEN (7) DAS AFTER COMPLETION OF GRADING.
- BEGIN ROUGH GRADING SITE PER GRADING PLAN.
- SCHEDULE A SITE MEETING WITH THE ENVIRONMENTAL ENGINEER/CONSULTANT TO DETERMINE IF A BASIN CAN BE REMOVED. INSTALL SILT FENCING OR OTHER TEMPORARY EROSION CONTROL MEASURES AS NEEDED PRIOR TO REMOVAL OF THE BASIN.
- REMOVE BASINS 1 AND 2 AND ASSOCIATED TEMPORARY DIVERSION DITCHES. GRADE AND STABILIZE AREA. NOTE: A MEETING SHOULD ALSO BE SCHEDULED WITH THE ENVIRONMENTAL ENGINEER/CONSULTANT TO DETERMINE WHEN A BASIN MAY BE CONVERTED FOR STORMWATER USE.
- MAINTAIN AND ADJUST DIVERSION DITCHES AS NECESSARY TO PROVIDE POSITIVE DRAINAGE TO SEDIMENT BASIN. ADJUST SEWAGE AS NECESSARY TO ACCOMMODATE PROPOSED GRADING AND CONSTRUCTION.
- CONSTRUCT RETAINING WALLS ON SITE AS NEEDED TO BRING SITE TO GRADE.
- INSTALL STORM DRAIN COLLECTION SYSTEM FROM DOWNSTREAM TO UPSTREAM WITH INLET PROTECTION AT EACH INLET. DIVERT RUN-OFF TO INLETS AS ROUGH GRADES ARE COMPLETED.
- INSTALL WATER AND SEWER LINES FROM DOWNSTREAM TO UPSTREAM AS NECESSARY DURING ROUGH GRADING TO AVOID CONFLICTS WITH STORM DRAIN SYSTEM.
- HAUL AWAY ANY EXTRA TOPSOIL AND MATERIAL AS NEEDED TO BALANCE SITE. IF ANY TOPSOIL IS TO REMAIN STOCKPILED AND PROTECTED WITH SILT FENCING AROUND PERIMETER.
- SUBMIT DOCUMENTATION REQUIRED UNDER THE SITE NPDES STORMWATER PERMIT FOR CONSTRUCTION ACTIVITY TO STORMWATER CONTROL. INSPECTIONS THROUGHOUT THE PROJECT.
- MAINTAIN SEDIMENT AND EROSION CONTROL DEVICES AFTER EVERY RAIN EVENT AND ONCE PER WEEK. REMOVE ANY SILT BUILDUP ON ANY SILT FENCING AS NEEDED TO PREVENT BREACH. SEED ANY AREAS OF THE SITE WITHIN 14 DAYS OF COMPLETION OF ANY PHASE OF GRADING IN THAT AREA.
- WHEN STORMDRAINS AND OTHER UTILITIES ARE INSTALLED AND ROUGH GRADING IS COMPLETE, PROCEED TO EROSION CONTROL PHASE III.

**RIPARIAN BUFFER RULES:**

DUE TO THE LOCATION OF THIS PROJECT, IT SHOULD BE NOTED THAT A RULE TO PROTECT AND MAINTAIN EXISTING BUFFERS ALONG WATERCOURSES IN THE NEUSE RIVER BASIN BECAME EFFECTIVE ON JULY 22, 1997. THE NEUSE RIVER RIPARIAN AREA PROTECTION AND MAINTENANCE RULE (15A NCAC 2B 0233) APPLIES TO ALL PERENNIAL AND INTERMITTENT STREAMS, LAKES, PONDS, AND ESTUARIES IN THE NEUSE RIVER BASIN WITH FOREST VEGETATION ON THE ADJACENT LAND OR "RIPARIAN AREA".

**DISTURBED AREA = 14.4 AC**



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Project: **THE MEADOWS AT HOLLYBROOK**

Client:

**SMITH-EDWARDS, LLC**  
 2643A WENDELL ROAD  
 WENDELL, NC 27591

**ABBREVIATIONS**

EX	EXISTING	TBR	TO BE RELOCATED
PROP	PROPOSED	FF	FLOOD PLAN
APPROX	APPROXIMATE	FEMA	FEDERAL
LOC	LOCATION		EMERGENCY
BM	BOOK OF MAPS		MANAGEMENT
DB	DEED BOOK		AGENCY
PG	PAGE	ESMT	EASEMENT
NF	NOW OR FORMERLY	TYP	TYPICAL
ROW	RIGHT OF WAY	SWM	STORMWATER
EIP	EX IRON PIPE		MANAGEMENT
EMAG	EX MAG NAIL	SF	SQUARE FEET
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EOP	EDGE OF PAVEMENT		ORDINANCE
		GIS	GEOGRAPHIC
SS	SANITARY SEWER		INFORMATION
FM	FORCE MAIN		SYSTEM
FH	FIRE HYDRANT	NCDOT	NORTH CAROLINA
ELEC	ELECTRIC		DEPARTMENT OF
TBD	TO BE DETERMINED		TRANSPORTATION
TBR	TO BE REMOVED		

**LEGEND**

---	70	EXISTING CONTOUR
---	65	PROPOSED CONTOUR
---	LOD	CLEARING LIMITS
---	SF	SILT FENCE
---		SILT FENCE OUTLET
---		TEMPORARY DIVERSION DITCH
---		INLET PROTECTION
---		CONSTRUCTION ENTRANCE
---		ROCK CHECK DAM

**EROSION CONTROL PLAN - PHASE 2**

Revisions

Number	Description	Date

JAECO #: 297-02  
 DRAWING SCALE: 1" = 50'  
 DRAWN BY: TT  
 CHECKED BY: JC  
 DATE ISSUED: 03/18/19

**C-12**  
13 of 20

MATCHLINE - SEE THIS SHEET

**NEW STABILIZATION TIMEFRAMES (EFFECTIVE AUG 3, 2011)**

SITE AREA DESCRIPTION	STABILIZATION	TIMEFRAME EXCEPTIONS
PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES	7 DAYS	NONE
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**RIPARIAN BUFFER RULES:**

DUE TO THE LOCATION OF THIS PROJECT, IT SHOULD BE NOTED THAT A RULE TO PROTECT AND MAINTAIN EXISTING BUFFERS ALONG WATERCOURSES IN THE NEUSE RIVER BASIN BECAME EFFECTIVE ON JULY 22, 1997. THE NEUSE RIVER RIPARIAN AREA PROTECTION AND MAINTENANCE RULE (15A NCAC 2B 0233) APPLIES TO ALL PERENNIAL AND INTERMITTENT STREAMS, LAKES, PONDS, AND ESTUARIES IN THE NEUSE RIVER BASIN WITH FOREST VEGETATION ON THE ADJACENT LAND OR RIPARIAN AREA.

**STOCKPILE NOTES:**

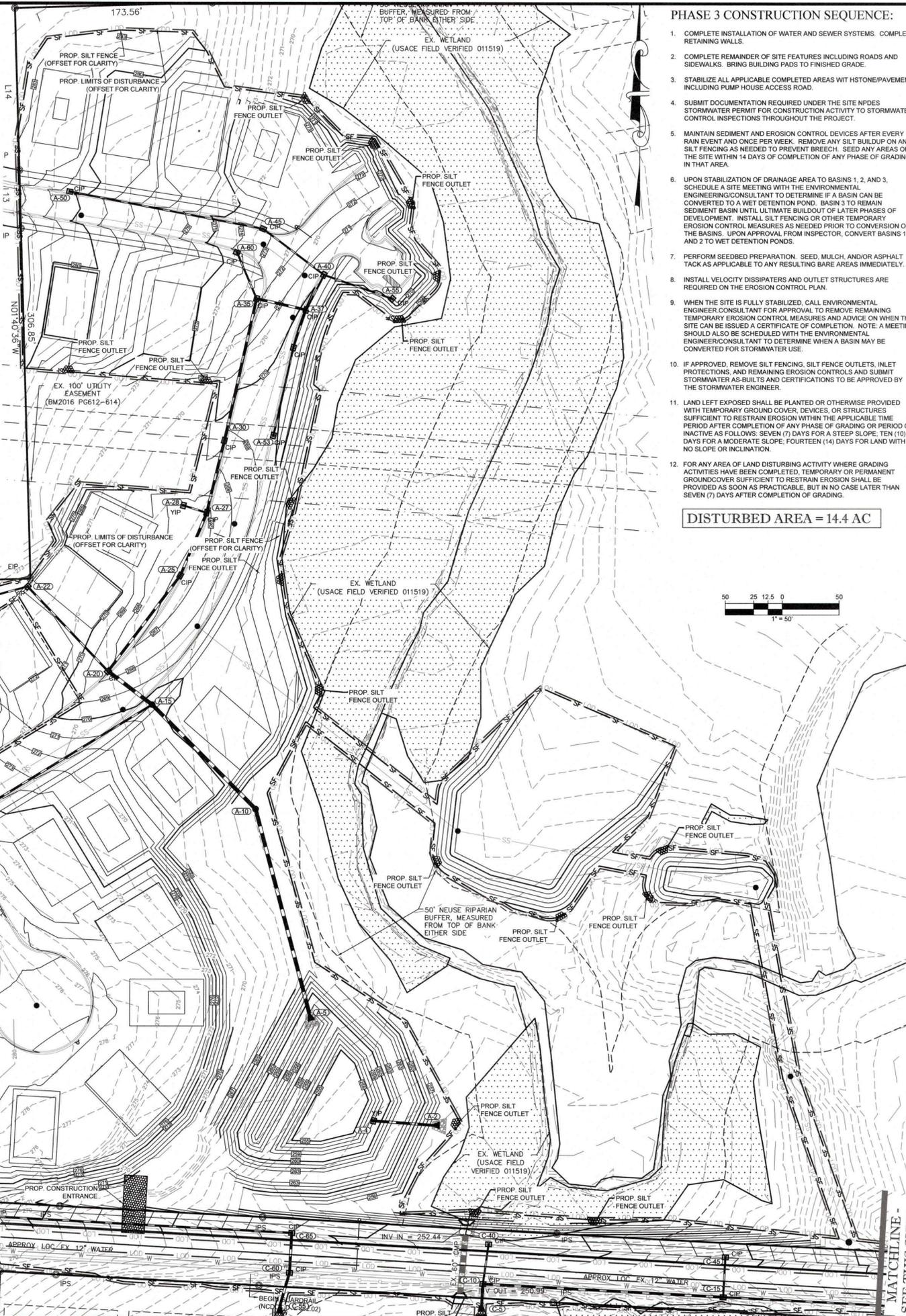
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**Maintenance Requirements:**

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- If a stockpile is to remain for future use after the project is complete (builders, etc.), the financial responsible party must notify Wake County of a new responsible party for that stockpile.
- The approved plan shall provide for the use of staged seeding and mulching on a continual basis while the stockpile is in use.
- Establish and maintain a vegetative buffer at the toe of the slope (where practical).



**PHASE 3 CONSTRUCTION SEQUENCE:**

- COMPLETE INSTALLATION OF WATER AND SEWER SYSTEMS. COMPLETE RETAINING WALLS.
- COMPLETE REMAINDER OF SITE FEATURES INCLUDING ROADS AND SIDEWALKS. BRING BUILDING PADS TO FINISHED GRADE.
- STABILIZE ALL APPLICABLE COMPLETED AREAS WITH STONE/PAVEMENT, INCLUDING PUMP HOUSE ACCESS ROAD.
- SUBMIT DOCUMENTATION REQUIRED UNDER THE SITE NPDES STORMWATER PERMIT FOR CONSTRUCTION ACTIVITY TO STORMWATER CONTROL INSPECTIONS THROUGHOUT THE PROJECT.
- MAINTAIN SEDIMENT AND EROSION CONTROL DEVICES AFTER EVERY RAIN EVENT AND ONCE PER WEEK. REMOVE ANY SILT BUILDUP ON ANY SILT FENCING AS NEEDED TO PREVENT BREACH. SEED ANY AREAS OF THE SITE WITHIN 14 DAYS OF COMPLETION OF ANY PHASE OF GRADING IN THAT AREA.
- UPON STABILIZATION OF DRAINAGE AREA TO BASINS 1, 2, AND 3, SCHEDULE A SITE MEETING WITH THE ENVIRONMENTAL ENGINEERING CONSULTANT TO DETERMINE IF A BASIN CAN BE CONVERTED TO A WET DETENTION POND. BASIN 3 TO REMAIN SEDIMENT BASIN UNTIL ULTIMATE BUILDOUT OF LATER PHASES OF DEVELOPMENT. INSTALL SILT FENCING OR OTHER TEMPORARY EROSION CONTROL MEASURES AS NEEDED PRIOR TO CONVERSION OF THE BASINS. UPON APPROVAL FROM INSPECTOR, CONVERT BASINS 1 AND 2 TO WET DETENTION POND.
- PERFORM SEEDBED PREPARATION. SEED, MULCH, AND/OR ASPHALT TACK AS APPLICABLE TO ANY RESULTING BARE AREAS IMMEDIATELY.
- INSTALL VELOCITY DISSIPATORS AND OUTLET STRUCTURES ARE REQUIRED ON THE EROSION CONTROL PLAN.
- WHEN THE SITE IS FULLY STABILIZED, CALL ENVIRONMENTAL ENGINEER CONSULTANT FOR APPROVAL TO REMOVE REMAINING TEMPORARY EROSION CONTROL MEASURES AND ADVISE ON WHEN THE SITE CAN BE ISSUED A CERTIFICATE OF COMPLETION. NOTE: A MEETING SHOULD ALSO BE SCHEDULED WITH THE ENVIRONMENTAL ENGINEER/CONSULTANT TO DETERMINE WHEN A BASIN MAY BE CONVERTED FOR STORMWATER USE.
- IF APPROVED, REMOVE SILT FENCING, SILT FENCE OUTLETS, INLET PROTECTIONS, AND REMAINING EROSION CONTROLS AND SUBMIT STORMWATER AS-BUILTS AND CERTIFICATIONS TO BE APPROVED BY THE STORMWATER ENGINEER.
- LAND LEFT EXPOSED SHALL BE PLANTED OR OTHERWISE PROVIDED WITH TEMPORARY GROUND COVER DEVICES OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION WITHIN THE APPLICABLE TIME PERIOD AFTER COMPLETION OF ANY PHASE OF GRADING OR PERIOD OF INACTIVITY AS FOLLOWS: SEVEN (7) DAYS FOR A STEEP SLOPE, TEN (10) DAYS FOR A MODERATE SLOPE, FOURTEEN (14) DAYS FOR LAND WITH NO SLOPE OR INCLINATION.
- FOR ANY AREA OF LAND DISTURBING ACTIVITY WHERE GRADING ACTIVITIES HAVE BEEN COMPLETED, TEMPORARY OR PERMANENT GROUND COVER SUFFICIENT TO RESTRAIN EROSION SHALL BE PROVIDED AS SOON AS PRACTICABLE, BUT IN NO CASE LATER THAN SEVEN (7) DAYS AFTER COMPLETION OF GRADING.

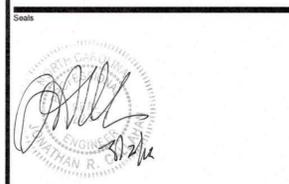
DISTURBED AREA = 14.4 AC



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**THE MEADOWS AT HOLLYBROOK**

**SMITH-EDWARDS, LLC**  
2643A WENDELL ROAD  
WENDELL, NC 27591

**ABBREVIATIONS**

EX	EXISTING	TBR	TO BE RELOCATED
PROP	PROPOSED	FP	FLOOD PLAN
APPROX	APPROXIMATE	FEMA	FEDERAL EMERGENCY MANAGEMENT AGENCY
LOC	LOCATION		
BM	BOOK OF MAPS		
DB	DEED BOOK		
PG	PAGE	ESMT	EASEMENT
NIP	NOW OR FORMERLY	TYP	TYPICAL
ROW	RIGHT OF WAY	SWM	STORMWATER MANAGEMENT
EIP	EX IRON PIPE	SF	SQUARE FEET
EMAG	EX MAG NAIL	AC	ACRE
ECM	EX CONCRETE MONUMENT	LF	LINEAR FEET
EIR	EX IRON ROD	UDO	UNIFIED DEVELOPMENT ORDINANCE
IPS	IRON PIPE SET		
EOP	EDGE OF PAVEMENT	GIS	GEOGRAPHIC INFORMATION SYSTEM
SS	SANITARY SEWER		
FM	FORCE MAIN	NCCOT	NORTH CAROLINA DEPARTMENT OF TRANSPORTATION
FH	FIRE HYDRANT		
ELEC	ELECTRIC		
TBD	TO BE DETERMINED		
TBR	TO BE REMOVED		

**LEGEND**

---	70	EXISTING CONTOUR
---	70	PROPOSED CONTOUR
---	---	CLEARING LIMITS
---	SF	SILT FENCE
---	SF	SILT FENCE OUTLET
---	---	TEMPORARY DIVERSION DITCH
---	---	INLET PROTECTION
---	---	CONSTRUCTION ENTRANCE
---	---	ROCK CHECK DAM

**EROSION CONTROL PLAN - PHASE 3**

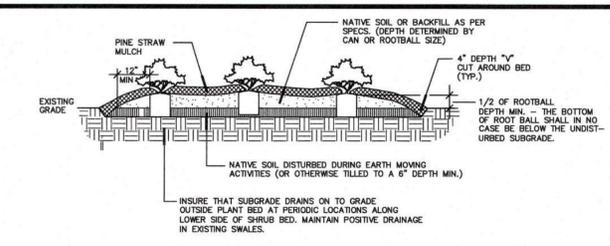
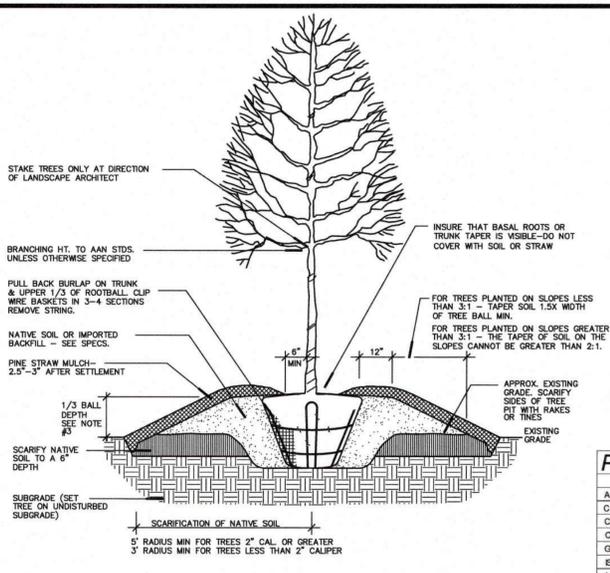
Revisions

Number	Description	Date

JAECO #: 297-02  
DRAWING SCALE: 1" = 50'  
DRAWN BY: TT  
CHECKED BY: JC  
DATE ISSUED: 03/18/19

C-13



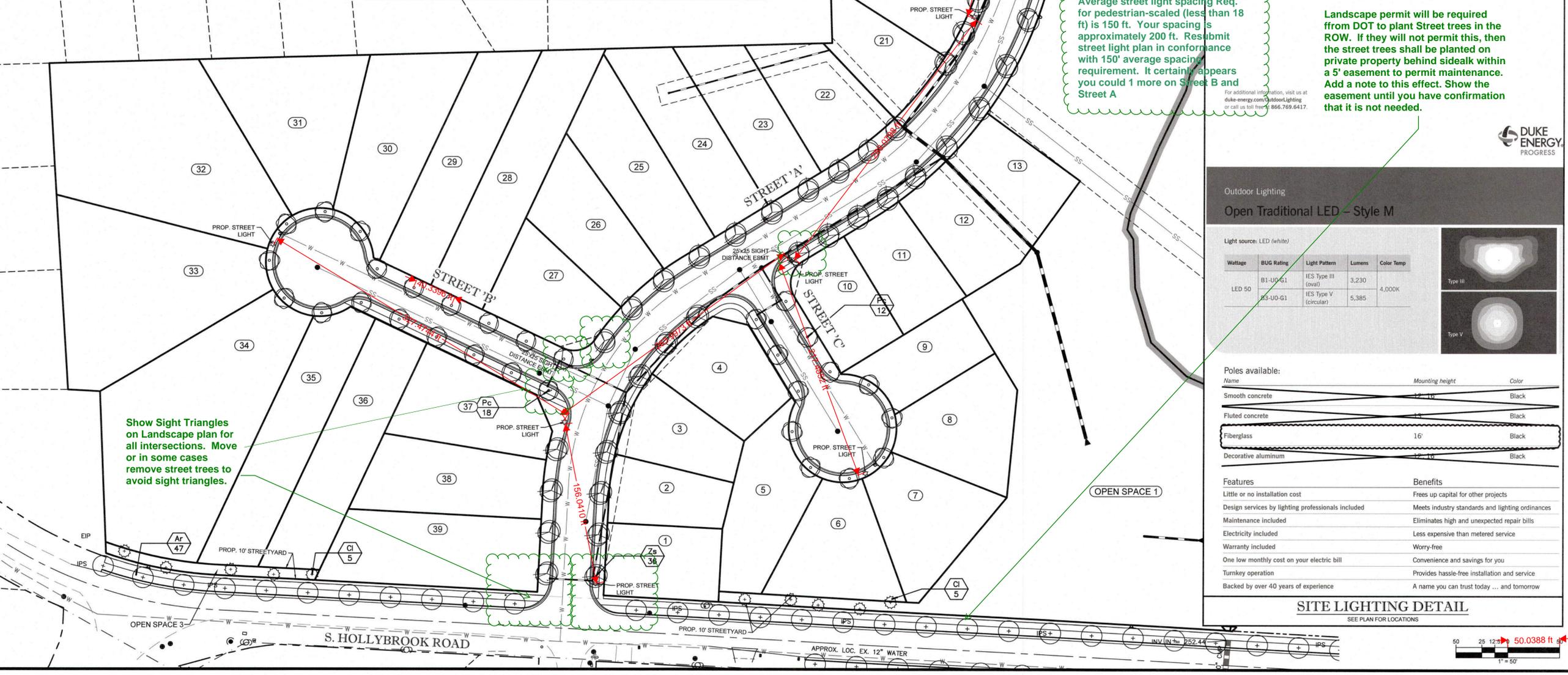


**PLANT LIST**

Code	Common Name	Cal	Height	Spread	Root	Remarks
Ar	Acer Rubrum 'Armstrong'	2" min.	8'-10'	BB		
Cc	Cercis canadensis	1" min.	6'-8'	BB		White
Cf	Comus florida	1" min.	6'-8'	BB		
Ci	Cupressocyparis leylandii	1" min.	6'-8'	BB		
Cl	Cladonia tricarallos 'Shademaster'	2" min.	8'-10'	BB		
Is	Ilex x attenuata 'Savannah'	1" min.	6'-8'	BB		
Li	Lagerstroemia White 'Dynamite'	1" min.	6'-8'	BB		Red
Lt	Liriodendron tulipifera	2" min.	8'-10'	BB		
Mg	Magnolia grandiflora 'Kay Paris'	2" min.	8'-10'	BB		
Ns	Nyssa sylvatica	2" min.	8'-10'	BB		
Pc	Platanus chinensis	2" min.	8'-10'	BB		
Po	Platanus occidentalis	2" min.	8'-10'	BB		
Py	Prunus x yedoensis	1" min.	6'-8'	BB		
Qc	Quercus coccoloba	2" min.	8'-10'	BB		
Op	Quercus phellos	2" min.	8'-10'	BB		
Sj	Sigihoro japonica	2" min.	8'-10'	BB		
Tc	Tilia cordata 'Greenspire'	2" min.	8'-10'	BB		
Ul	Ulmus parvifolia	2" min.	8'-10'	BB		
Zs	Zelkova serrata	2" min.	8'-10'	BB		
<b>Shrubs</b>						
Cj	Cleyera japonica		18"		Cont.	
hb	Ilex cornuta 'Burfordii' nana		18"		Cont.	
w	Ilex vomitoria		18"		Cont.	
Lj	Ligustrum japonicum		18"		Cont.	
Lc	Loxopetalum chinense 'Jazz Hands Variegated'		18"		Cont.	
PID	Prunus laurocerasus 'Otto Luyken'		18"		Cont.	
PIs	Prunus laurocerasus 'Supreme'		18"		Cont.	3.5' oc

**TREE PLANTING NOTES:**

- TREE WRAP (SEE SPECS) IS TO BE USED ON THIN BARK SPECIES ONLY (SUCH AS MAPLES). THE LANDSCAPE ARCHITECT SHALL BE THE SOLE JUDGE OF WHICH SPECIES SHOULD BE WRAPPED IF THERE IS ANY QUESTION.
- IF TREES SETTLE OR ARE BLOWN OUT OF PLUMB POSITION, THEY SHOULD BE STRAIGHTENED BY MAKING ADJUSTMENTS TO THE POSITION OF THE ROOTBALL - NOT BY PUSHING ON THE TRUNK AND/OR TIGHTENING THE GUY WIRE. TREES SHALL BE STRAIGHTENED DURING THE LIFE OF THE PROJECT AS THEY GET OUT OF PLUMB, NOT JUST AT THE END OF THE PROJECT.
- BALL DEPTHS ON SOME TREES IN A SINGLE GROUP MAY VARY. IN GENERAL, 1/3 THE BALL SHOULD BE ABOVE GRADE BUT IF DEPTHS VARY ALL TREES IN A GROUP SHOULD BE SET SO THAT THE BASE OF THE TRUNKS WILL APPEAR TO BE AT THE SAME RELATIVE ELEVATION ABOVE GRADE.
- NO DECIDUOUS OR EVERGREEN TREES WILL BE ACCEPTED IF THERE IS MORE THAN ONE LEADER, UNLESS THE TREE IS SPECIFIED AS MULTI-TRUNK.



Average street light spacing Req. for pedestrian-scaled (less than 18 ft) is 150 ft. Your spacing is approximately 200 ft. Resubmit street light plan in conformance with 150' average spacing requirement. It certainly appears you could 1 more on Street B and Street A

Landscape permit will be required from DOT to plant Street trees in the ROW. If they will not permit this, then the street trees shall be planted on private property behind sidealk within a 5' easement to permit maintenance. Add a note to this effect. Show the easement until you have confirmation that it is not needed.

Show Sight Triangles on Landscape plan for all intersections. Move or in some cases remove street trees to avoid sight triangles.

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TBD	TO BE DETERMINED		TRANSPORTATION
TBR	TO BE REMOVED		

**LEGEND**

**LANDSCAPE AND LIGHTING PLAN**

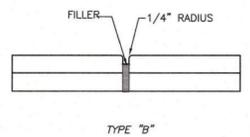
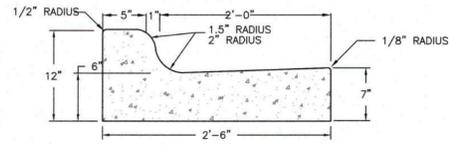
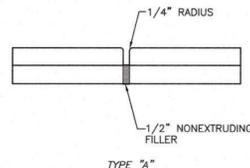
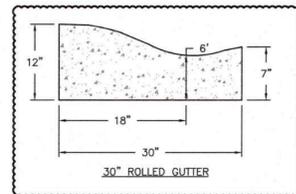
Revisions

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**C-15**

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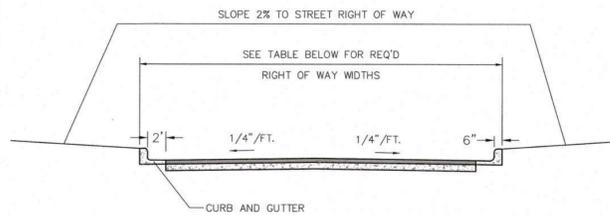
NOTES:  
 1. USE OF STRAIGHT SECTIONS ON CURVES WILL NOT BE PERMITTED. CURVED SECTIONS OF CURB AND GUTTER MUST CONFORM TO INDICATED RADII.  
 2. CONSTRUCT TYPE "A" JOINT MAX. 60' APART.  
 3. CONSTRUCT TYPE "B" JOINT MAX. 10' APART.

STANDARD 2-6" CURB AND GUTTER

REVISIONS	
DATE	DESCRIPTION

TOWN OF WENDELL

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STREET SECTION

NOTES:  
 1. ALL STREETS SHALL HAVE CURB & GUTTER.  
 2. NORMAL CROWN SHALL BE 1/4" PER FOOT UNLESS OTHERWISE DIRECTED BY TOWN ENGINEER.  
 3. GRADES SHALL NOT EXCEED 10%.

STREET CLASSIFICATION	MINIMUM R/W WIDTH	MIN. PAVEMENT WIDTH (B TO B)	PAVEMENT REQUIRED
MAJOR THOROUGHFARE, 6-LANE DIVIDED	134 FT	(2) 45 FT	10" ABC, 4" I-19.0B, 3" S-9.5B
MAJOR THOROUGHFARE, 4-LANE DIVIDED	110 FT	(2) 33 FT	10" ABC, 4" I-19.0B, 3" S-9.5B
MINOR THOROUGHFARE, 4-LANE DIVIDED	110 FT	(2) 33 FT	10" ABC, 4" I-19.0B, 3" S-9.5B
MINOR THOROUGHFARE, 3-LANE UNDIVIDED	79 FT	51 FT	10" ABC, 4" I-19.0B, 3" S-9.5B
MAJOR COLLECTOR, 3-LANE UNDIVIDED	79 FT	51 FT	8" ABC, 3" I-19.0B, 2" S-9.5B
MAJOR COLLECTOR, 2-LANE DIVIDED	86 FT	(2) 21 FT	8" ABC, 3" I-19.0B, 2" S-9.5B
MINOR COLLECTOR, 2-LANE UNDIVIDED	67 FT	39 FT	8" ABC, 3" I-19.0B, 2" S-9.5B
INDUSTRIAL ROAD	69 FT	41 FT	10" ABC, 3" I-19.0B, 2" S-9.5B
MAIN STREET	75 FT	45 FT	8" ABC, 3" I-19.0B, 2" S-9.5B
RESIDENTIAL STREET	67 FT	43 FT	8" ABC, 3" I-19.0B, 2" S-9.5B
RURAL ROAD	60 FT	20 FT (E-T)	8" ABC, 3" I-19.0B, 2" S-9.5B
LOCAL STREET	52 FT	27 FT	6" ABC, 3" I-19.0B, 2" S-9.5B
COMMERCIAL ALLEY	24 FT	24 FT	8" ABC, 3" I-19.0B, 2" S-9.5B
RESIDENTIAL ALLEY	20 FT	15 FT	8" ABC, 3" I-19.0B, 2" S-9.5B

REVISIONS	
DATE	DESCRIPTION

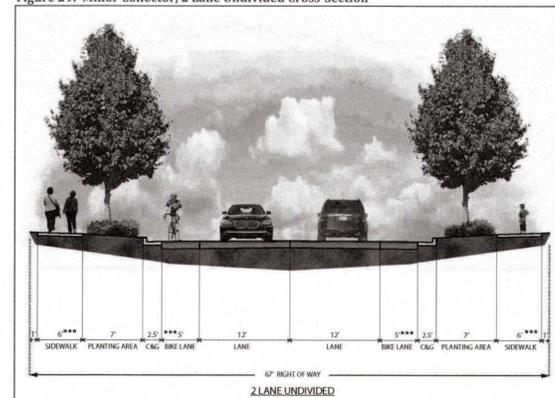
TOWN OF WENDELL

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Wendell Arterial and Collector Street Plan  
 Wendell, Wake County, NC

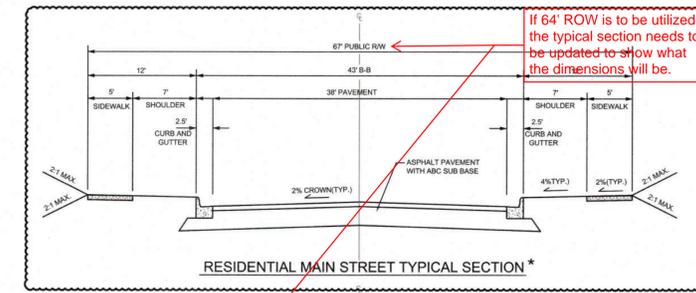
Figure 29: Minor Collector, 2 Lane Undivided Cross-Section\*\*\*



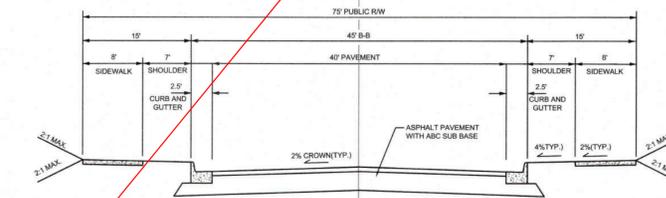
Class	ADT Range	Cross-Section	Bike Lanes	Sidewalks	Speed Limit (mph)	ROW (feet)	Approximate Construction Cost per Linear Foot*
Minor Collector	2k-4k	2 lane undivided	Case-by-Case	Yes	30	67	\$1,800

\*approximate costs are for facilities on new location per linear foot of roadway centerline and do not include design or ROW

NOTES:  
 1. FIFTEEN (15) FOOT WIDE TRAVEL LANE PROPOSED IN LIEU OF FULL 5' BIKE LANE PER UDO 9.3.D.4.  
 2. NO SIDEWALK PROPOSED ALONG THE SOUTHERN HOLLYBROOK ROAD FRONTAGE WEST OF PROPOSED PEDESTRIAN CROSSING DUE TO ENVIRONMENTAL IMPACTS. NO RECEIVING SIDEWALK EXISTS TO THE WEST.



RESIDENTIAL MAIN STREET TYPICAL SECTION\*

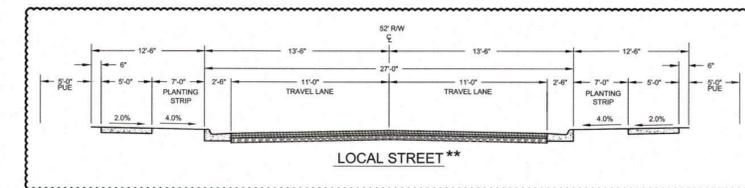


MAIN STREET TYPICAL SECTION

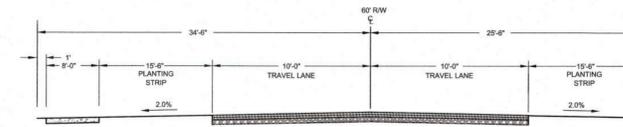
TOWN OF WENDELL

9

NOTES:  
 1. 64' RIGHT-OF-WAY WITH 36' PAVEMENT WIDTH AND 5' PUBLIC UTILITY EASEMENT TO BE PROVIDED IN ACCORDANCE WITH UDO 9.4 AND APPROVED CONDITIONAL ZONING PLAN O-17-2018.  
 2. SIDEWALKS ONLY REQUIRED ON ONE SIDE OF STREETS PER UDO 9.3.C.2.a. SEE PLAN FOR LOCATIONS.



LOCAL STREET\*\*



RURAL ROAD

REVISIONS	
DATE	DESCRIPTION

TOWN OF WENDELL

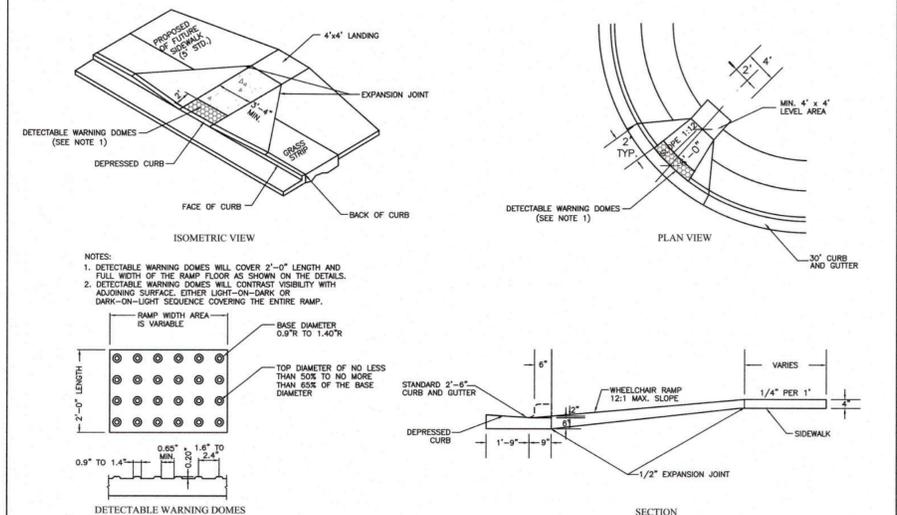
10

NOTES:  
 1. SIDEWALKS ONLY REQUIRED ON ONE SIDE OF STREETS PER UDO 9.3.C.2.a. SEE PLAN FOR LOCATIONS.

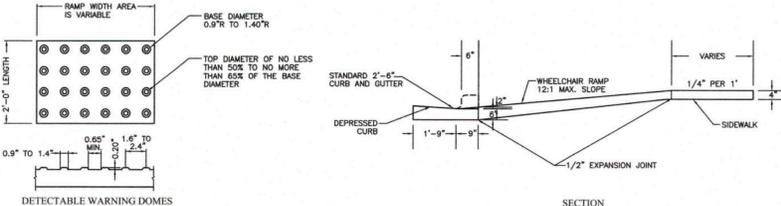
Please add a note stating that the Rural Road cross-section is not applied in this development (to avoid confusion).

These were not included as conditions of the Master Plan and would require an amendment to the Master Plan by the Town Board (public hearing). It's fine not to stripe the bike lane, but the width should be provided, and the sidewalk should be included for the full frontage.

Provide sign detail for Stop Sign, Speed Limit Sign, etc.  
 Provide crosswalk detail for standard crosswalk and high-visibility crosswalk.  
 Provide concrete sidewalk details.



NOTES:  
 1. DETECTABLE WARNING DOMES WILL COVER 2'-0" LENGTH AND FULL WIDTH OF THE RAMP FLOOR AS SHOWN ON THE DETAILS.  
 2. DETECTABLE WARNING DOMES WILL CONTRAST VISIBLY WITH ADJOINING SURFACE EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT SEQUENCE COVERING THE ENTIRE RAMP.



TOWN OF WENDELL

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Project

THE MEADOWS AT HOLLYBROOK

Client

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LEGEND

Drawing Title

SITE DETAILS

Revisions

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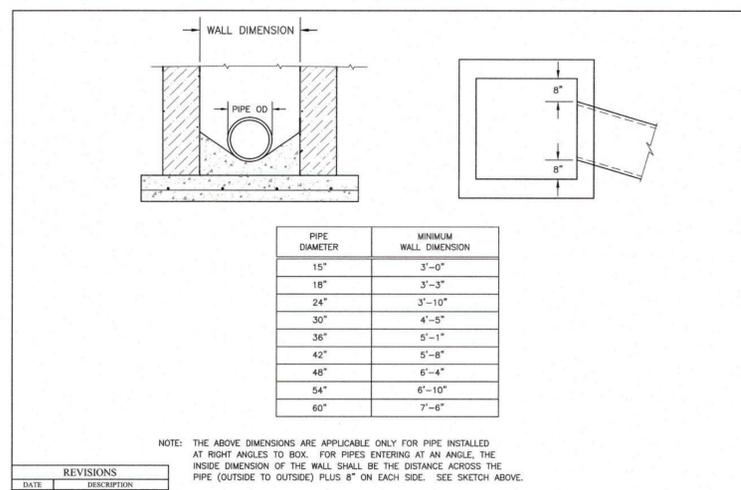
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17 of 21



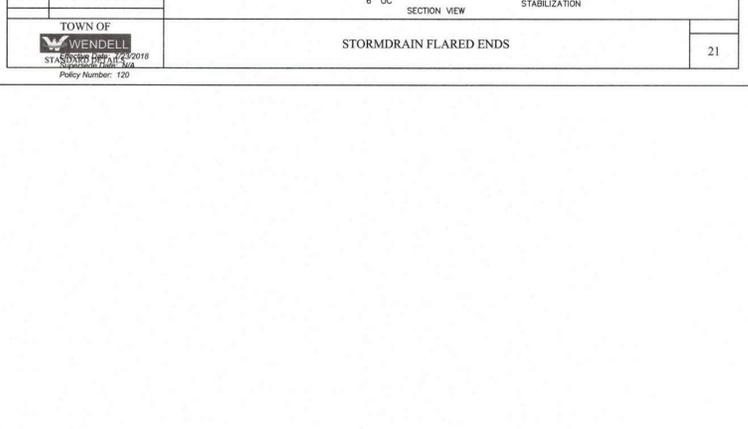
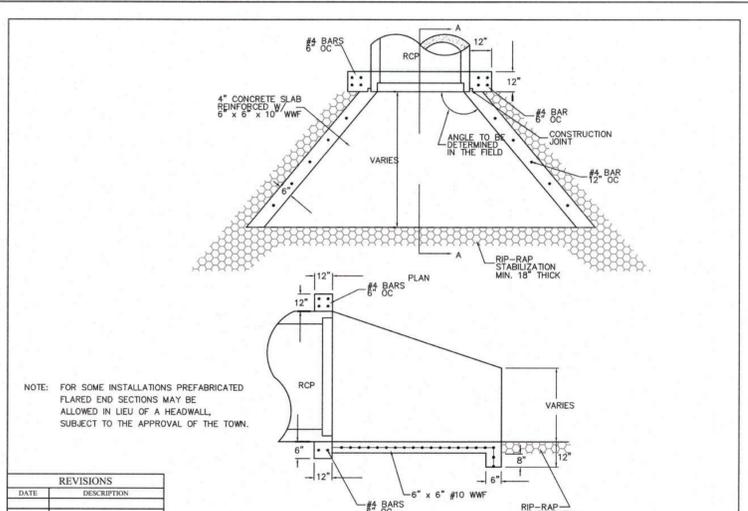
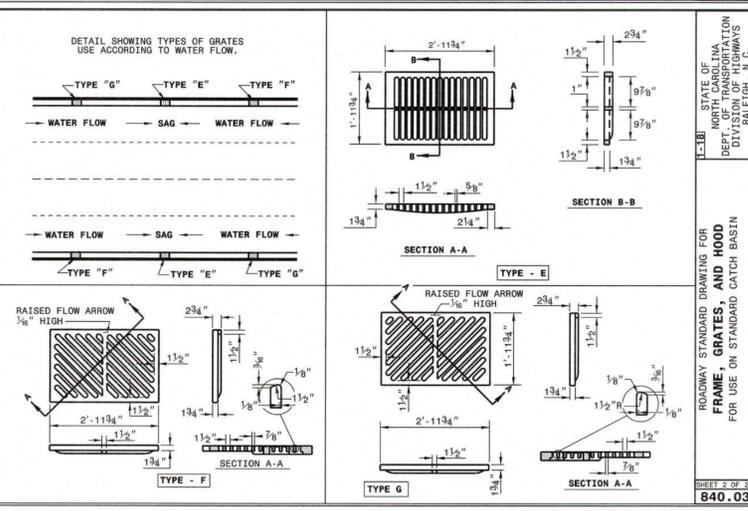
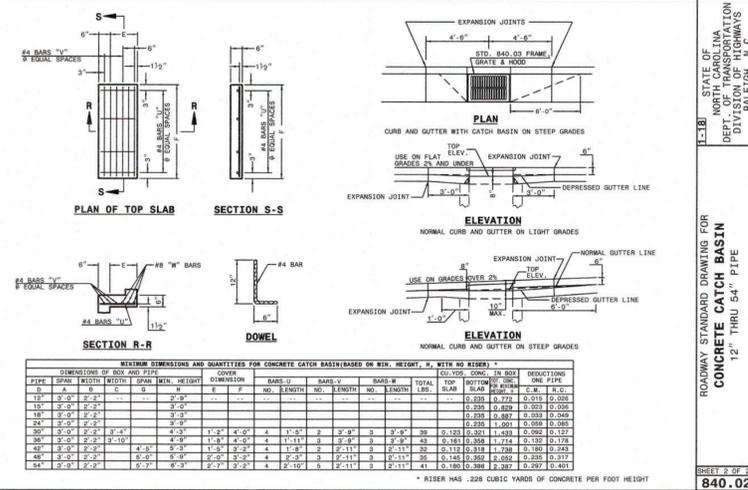
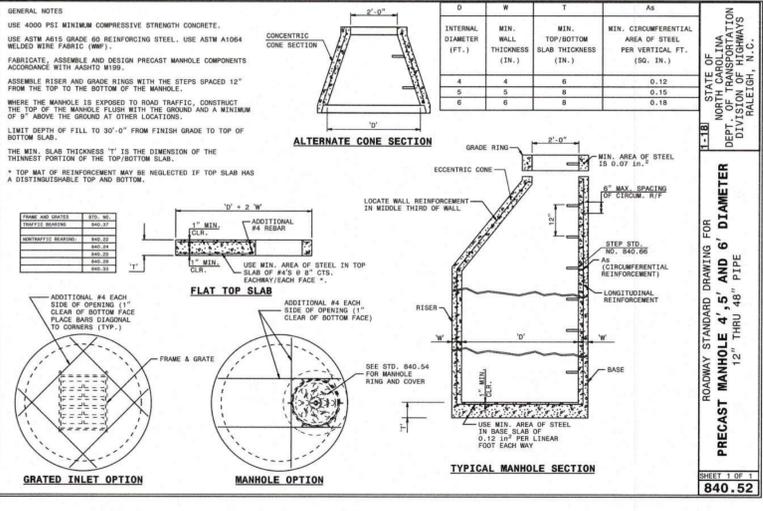
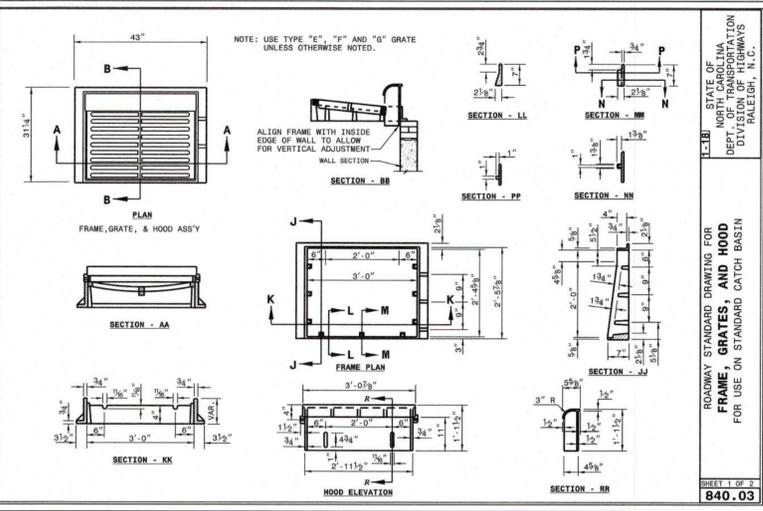
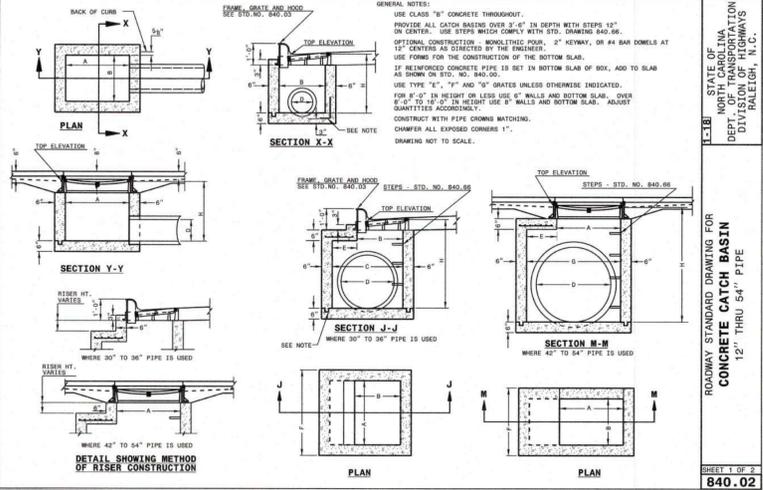
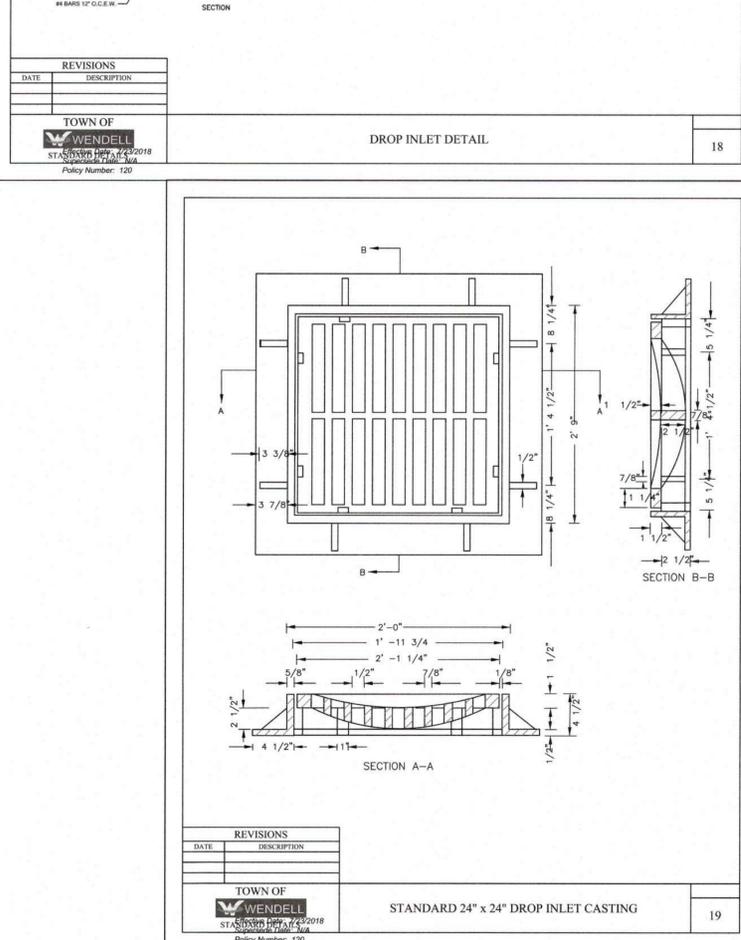
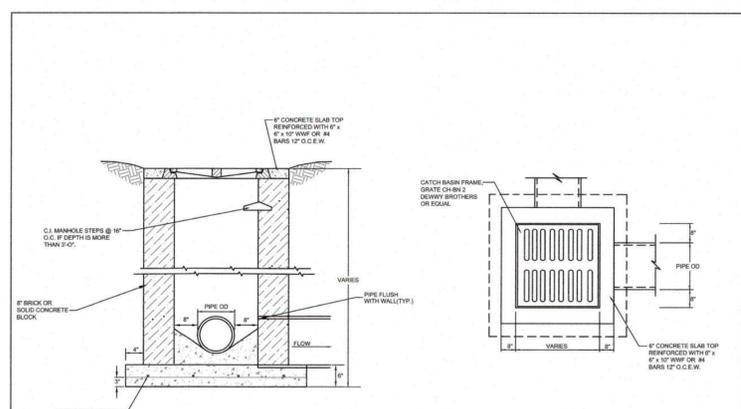
NOTE: THE ABOVE DIMENSIONS ARE APPLICABLE ONLY FOR PIPE INSTALLED AT RIGHT ANGLES TO BOX. FOR PIPES ENTERING AT AN ANGLE, THE INSIDE DIMENSION OF THE WALL SHALL BE THE DISTANCE ACROSS THE PIPE (OUTSIDE TO OUTSIDE) PLUS 8" ON EACH SIDE. SEE SKETCH ABOVE.

REVISIONS

DATE	DESCRIPTION

TOWN OF WENDELL  
STANDARD DRAWING 840.02  
POLICY NUMBER: 120

INSIDE DIMENSIONS FOR CATCH BASINS, JUNCTION BOXES AND DROP INLETS



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